

# **1 Tawa Street**

## *Alternations & Additions*



*Submitted to the University of Sydney*

*On behalf of the L&Z Partners*

*October 2021*

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## Development Application Form

<b>About this form:</b>	Use this form to apply for a Development Application. NOTE: Where information on this form differs from information entered into the Planning Portal Application (PAN) the information on this form will prevail
<b>How to complete:</b>	1. Ensure that all fields have been filled out correctly. 2. Once completed, please refer to the lodgement details section for further information.

### Applicant Details:

Please give all contact details. If the applicant is a company, proof the company is a legal entity must be given, either by company seal or company letterhead.

Salutation: (please tick)	<input type="checkbox"/> Mr	<input type="checkbox"/> Ms	<input type="checkbox"/> Miss	<input type="checkbox"/> Other (please specify)
Company Name (if applicable)				
First name:		Surname:		
Email:				
Street address:		Postcode:		
Suburb:				
Postal address: (if different to street address)		Postcode:		
Suburb:		Mobile:		
Phone number:		Other:		
Debtor Name: (NOTE: The debtor is the person paying the application fees. If this is left blank the applicant name will be used and invoice will not be modified)		Debtor Signature:		

### Site Details:

Please list all properties subject to this application

Customer Reference Number:			
Street address:			
Suburb:		Postcode:	
Legal description:	Lot:	Section:	DP/SP:
Current rating category of land:	<input type="checkbox"/> Business	<input type="checkbox"/> Residential	<input type="checkbox"/> Mixed development
Proposed rating category of land:	<input type="checkbox"/> Business	<input type="checkbox"/> Residential	<input type="checkbox"/> Mixed development
Has the current Application had a Pre-DA?	<input type="checkbox"/> Yes <input type="checkbox"/> No If YES, please provide application number:		



## Development Application Form

### Owner/s Consent

Consent from **ALL** registered owners of the site must be obtained. Without owner consent Council will not accept the application. If the site is owned by a company the onus is on the company to ensure that the correct number of directors provide consent. It is also the company's responsibility, including sole director companies, to use the company seal, if the company rules stipulate its use, or alternatively provide authorisation by way of company letterhead. Strata bodies must use the strata seal with the managing agent's signature or alternatively the strata seal and a copy of a resolution of the owner's corporation authorising the works. Please provide signatures of all owners below or sign the Applicants confirmation that owners consent has been obtained.


**Council will not accept this application without correct and complete owner/s consent**

As owner/s of the site to which this application relates, I/we/this company consent/s to the lodgement of this application

Salutation: (please tick)	<input type="checkbox"/> Mr	<input type="checkbox"/> Ms	<input type="checkbox"/> Miss	<input type="checkbox"/> Other (please specify)
Company / Strata Name (if applicable)				
First name/s:			Surname/s:	
Email:				
Street address:			Postcode:	
Suburb:				
Phone number:			Mobile:	
Print name/s:				
Signature/s				
Authorisation by Company letterhead Attached? (please tick)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	
Company Seal? (please tick)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	
Strata Seal (please tick)	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A	

### Applicant confirmation of owner's consent

As the person/s making the subject application I/we confirm that the consent of **all** registered owners of the property as listed above to lodge the application has been obtained. Please note that incorrect statements may result in any consent becoming invalid.

Salutation: (please tick)	<input type="checkbox"/> Mr	<input type="checkbox"/> Ms	<input type="checkbox"/> Miss	<input type="checkbox"/> Other (please specify)
Company / Strata Name (if applicable)				
First name/s:			Surname/s:	
Signatures				





## Development Application Form

### Conflicts of Interest

Does the Inner West Council employ the applicant or owner/s of the property

☐ Yes ☐ No

If YES, please explain the nature of interest:

Is the applicant or owner/s a Councillor?

☐ Yes ☐ No

If YES, please explain the nature of interest:

Is the applicant being submitted on behalf of an employee or Councillor?

☐ Yes ☐ No

If YES, please explain the nature of interest:

### Political Donations and Gifts Disclosure Statement

Persons lodging an application with Council are required to declare reportable political donations and gifts. Have you made a political donation of more than \$1,000 or gift (regardless of value) in the previous two (2) years?

☐ NO

☐ YES

If YES, you must complete & submit the Declaration of Political Donations and Affiliations form

For further information: <http://www.planning.nsw.gov.au/Assess-and-Regulate/Development-Assessment/Systems/Donations-and-Gift-Disclosure>



## Development Application Form

### Declaration

- I have read and understand the contents of Council's Development Advisory & Assessment Policy <https://www.innerwest.nsw.gov.au/ArticleDocuments/251/Development%20Advisory%20and%20Assessment%20Policy.pdf.aspx>
- I declare that all the information in the application is to the best of my knowledge, true and correct
- I also understand that if the information is incomplete, the application may be delayed or rejected or more information may be requested. I acknowledge that if the information provided is misleading, any approval granted 'may be void'
- I accept that inadequacies in the material submitted may result in delays in the processing of the application.
- I declare that the electronic documentation has been named in accordance with Council's naming convention as outlined in Council's [DA Documentation Requirements](#) and that each document is a PDF with no security settings applied. I declare that the electronic data is not corrupted and does not contain any viruses.
- I understand that Council will use the information and materials provided for notification and advertising purposes.
- I understand that Council officer's may need to carry out a site inspection and will undertake to make site access available as required.
- I understand that information related to this application may be displayed on Council's online tracking system for viewing by the general public (including floor plans) and may be disclosed under the provisions of the *Government Information (Public Access) Act 2009*.
- I am authorised by the copyright holder of any material submitted with this application to provide this material to Council for the purpose of this application and display on Council's web page.
- I understand that Council may disclose the information in this application to the Department of Planning, Industry and Environment for the purpose of the assessment of the application. This information may also be disclosed to other NSW Government agencies for the purpose of assessment.
- I understand that Council will not commence processing of my application until such time fees are paid. I agree to pay the fees within 7 days of receipt of an invoice from Council. I understand that if the fees are not paid, the application will be rejected and returned to me.

**Applicant's  
signature/s:**

*FM*

**Date:**

/ /

### Privacy statement

Application forms and/or names and addresses of people making an application is information that is publicly available. In accordance with section 18(1)(b) of the *Privacy and Personal Information Protection Act 1998 (NSW)*, you are advised that all application forms received by Council will be placed on the appropriate Council file and may be disclosed to Councillors, Council officers, consultants to Council or members of the public. Pursuant to the provisions of the *Government Information (Public Access) Act 2009*, Council is obliged to allow inspection of its documents, including any application you make.



## Development Application Form

### Proposal

Is the application for a change of use ONLY?  
(no building works, demolition or subdivision)

☐ Yes ☐ No

Is the application for tree removal/pruning ONLY?

☐ Yes ☐ No

If YES, please provide number of trees being removed/pruned:

Does the application include any advertisements?

☐ Yes ☐ No

If YES, please provide number of advertisements:

Does the application involve subdivision?

Does NOT include opening of public road

☐ Yes ☐ No

If YES, No. of ADDITIONAL lots proposed:

If YES complete relevant details:

Includes opening of a new public road

☐ Yes ☐ No

If YES, No. of ADDITIONAL lots proposed:

Strata Subdivision

☐ Yes ☐ No

If YES, No. of ADDITIONAL lots proposed:

Provide a written description. Please include a summary of all elements of your proposal including:

- Demolition
- New building works
- No. of rooms/storeys etc.

Does the development involve a building which is 5 or more storeys in height, located in a master planned area or is a gateway site?

☐ Yes ☐ No

### Cost of Works

The cost of works of the development is: \$ \_\_\_\_\_  
(includes GST and all costs associated with the demolition and construction)

**NOTE:**

- A cost summary report is required for works \$100,000 to \$2 million
- Works exceeding \$2 million are to be accompanied by a report prepared by a quantity Surveyor.



## Development Application Form

<b>Approvals from Other Government Agencies</b>	Is the Proposal integrated development?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	If YES, please provide details, including a list of the relevant authorities or agencies	
	Does the proposal require concurrence from another agency?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	If YES, please provide details, including a list of the relevant authorities or agencies	
<b>Environmental Planning &amp; Assessment Regulation 2000</b>	Is the land, or part of critical habitat	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Is your proposal likely to have a significant effect on threatened species, populations, ecological communities or their habitats?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Is the development biodiversity compliant development?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Is the land subject to a private land conservation agreement under the Biodiversity Conservation Act 2016?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	If YES, please provide details:	



## Development Application Form

Documentation	Please list the documents accompanying the application	Dated / Version
<p>All files are required to comply with Council's file naming convention being the title of the plan or document followed by the address of the development site. For example:</p> <p>Architectural Plans - 7-15 Wetherill Street Leichhardt</p> <p>BASIX - 7-15 Wetherill Street Leichhardt</p> <p><a href="#">DA Documentation Requirements</a></p>		



## Development Application Form

### Instructions for applicants

Lodging an application requires a completed application form, all relevant information and the payment of the required fee. The Application will be checked at lodgement to ensure the required information is provided. For a list of required information, please refer to Council's [Development Application Checklist](#) and [DA Document Requirements](#)

**Incomplete/illegible applications will not be accepted and will be returned to you.**

**Lodge online:** <https://www.planningportal.nsw.gov.au/onlineDA>

**Fees and charges:** Find fees and charges on the Council website: [www.innerwest.nsw.gov.au/FeesAndCharges](http://www.innerwest.nsw.gov.au/FeesAndCharges)

Upon review of the documentation, if found to be satisfactory, the application will be entered into our system. You will then be sent an invoice. Please note that the application is not considered to be 'Lodged' until the fees have been paid. Fees are to be paid within 7 days of issue of invoice.

**Inconsistency in Lodgement Information:** Where information on this form differs from information entered into the Planning Portal Application (PAN) the information on this form will prevail.

### Further information or frequently asked questions

#### I have lodged an application, what should I expect in return?

Correspondence will be sent within 14 days if the application is being returned due to inadequacies. If your application will be continuing to assessment, correspondence will be sent to the Applicant advising the name of the Council officer responsible for your application. You should discuss the process of your application with the responsible officer. Information on the Development Application process is available on Council's web page via the following [link](#).





## Development Application Form

### DEVELOPMENT APPLICATION LODGEMENT CHECKLIST

✓ = required ● = may be required	Residential Alts & Adds / New Dwellings/ Dual occupancy /	Swimming pools	Tree works in HCA/HI	Off street parking /	Residential Flat Buildings	Mixed Use / Boarding House	Multi-dwellings (not RFB)	Subdivision only	Change of use / Commercial	Commercial/ Industrial	Signage	Solar Energy Systems	Applicant check	Council Officer Check
Development application form*	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		
Statement of Environmental Effects*	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		
Exception to Development Standard Request*	●	●	-	●	●	●	●	●	●	●	-	-		
Survey (see note)	●	✓	●	✓	✓	✓	✓	✓	-	✓	●	-		
Site plan / Site analysis*	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓		
Floor and Roof plans – existing and proposed*	✓	✓	-	●	✓	✓	✓	●	✓	✓	-	-		
Elevations / Sections*	✓	✓	-	✓	✓	✓	✓	●	✓	✓	✓	-		
Landscape plan*	✓	✓	●	●	✓	✓	✓	●	-	●	-	-		
Stormwater drainage concept plan / OSD*	✓	●	-	✓	✓	✓	✓	●	●	●	-	-		
Shadow Diagrams – Existing and proposed	✓	●	-	●	✓	✓	✓	●	-	✓	●	●		
Subdivision / Strata Plan*	●	-	-	●	●	●	●	✓	-	●	-	-		
Waste Management Plan	✓	✓	-	✓	✓	✓	✓	●	✓	✓	-	●		
Water Management Statement / Water sensitive Urban Design / MUSIC model	✓	●	-	●	✓	✓	✓	●	-	✓	-	-		
BASIX certificate*	●	●	-	-	✓	✓	✓	-	-	-	-	-		



## Development Application Form

Materials and finishes schedule*	✓	-	-	●	✓	✓	✓	-	-	✓	✓	-		
Heritage Impact Statement	●	●	●	●	●	●	●	●	●	●	●	-		
Flood / Foreshore Risk Management Report	●	●	-	●	●	●	●	●	●	●	-	-		
Structural Engineers report / Party Wall consent*	●	●	●	●	●	●	●	-	●	●	-	-		
Arborist report	●	●	●	●	●	●	●	●	-	●	-	-		
Swept paths / compliance with AS2890.1/ Driveway long sections	●	-	-	✓	●	●	●	●	●	●	-	-		
Traffic and Parking Assessment Report	●	-	-	●	✓	✓	✓	●	●	✓	-	-		
Access Report	-	-	-	●	✓	✓	✓	-	●	✓	-	-		
NCC (BCA) Report	-	-	-	-	✓	✓	✓	-	●	✓	-	-		
Design Verification Statement*	-	-	-	-	✓	●	●	-	-	-	-	-		
Geotechnical Report	●	●	-	●	●	●	●	-	-	●	-	-		
Contamination / Remediation Action Plan	●	●	-	●	●	●	●	●	●	●	-	-		
Acoustic Report / Noise Assessment	●	-	-	-	●	●	●	-	●	●	-	-		
Social Impact Comment or Assessment	-	-	-	-	●	●	●	-	●	●	-	-		
Three-Dimensional Model / Photomontage	●	-	-	-	●	●	●	-	-	●	●	-		
Plan of Management	-	-	-	-	-	●	-	-	●	●	-	-		

### Survey Requirements

Surveys are generally required for all development applications that entail new external works. If alterations and additions are being done that are wholly internal to the building, a survey may not be required. To clarify whether a survey is required, you may wish to contact Council's Duty Planning officer.



## Development Application Form

### Documentation Requirements

All submitted plans and documentation are required to be prepared in accordance with Council's ['DA Documentation Requirements'](#). Council officers will review plans and supporting documents at the time of DA lodgement for adherence to the specifications. If your proposed development type is not listed in the matrix above it is recommended that you contact Council and speak with a Duty Planning officer who can advise of lodgement requirements.

Please note that the DA Application form is required to enable lodgement into Council's system regardless of the information entered into the NSW Planning Portal. Please note that if there are any discrepancies the information in Council's DA Application form will take precedence.

### Payment of Fees

Council will not commence processing of your application until such time that all fees are paid. Please note that payment is required within 7 days from the date of lodgement regardless of any due date on an invoice issued. If payment has not been received in such time the application will be rejected and returned to you.

## STATEMENT OF ENVIRONMENTAL EFFECTS

For a Development Application at **1 Tawa Street**



*Partial demolition, and alternations and additions to an existing Bangalow dwelling house, including new outdoor courtyard gardens*

Submitted to the **University of Sydney**

On behalf of the **L&Z Partners**

October 2021

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## **Cover Letter**

To whom it may concern,

This proposal development seeks partial demolition, and alterations and additions to an approved existing Bangalow house comprising internal reconfiguration including new kitchen and dining area, lounge, study area and reallocations of bedrooms, plus two new courtyards including timber decking.

This Statement of Environmental Effects (SEE) deliver what is required for a development application. We also acknowledge the Gadigal people of the Eora nation, on whose land we meet today. I pay my respects to their Elders past and present, and also to all Aboriginal and Torres Strait Islander Peoples here today.

The proposal is considered to be appropriate for the site and worthy of approval.

Yours sincerely,

L&Z Partners



## **1.0 Introduction**

*L&Z Partners* has been engaged to prepare this Statement of Environmental Effects (SEE) to accompany the Development Application (DA) submitted to the Inner West Council that seeks partial demolition, and alterations and additions to an approved existing Bangalow house comprising internal reconfiguration including new kitchen and dining area, lounge, study area and reallocations of bedrooms, plus two new courtyards including timber decking, at:

- 1 Tawa Street, Ashfield, 2131 NSW. (**Lot 3, DP16828**)

This SEE describes the existing property and its context with its proposed alternations and additions with reference primarily to:

- *Ashfield Local Environmental Plan 2013 (ALEP)*
- *Ashfield Development Control Plan 2016 (ADCP)*

This statement should be read in conjunction with the architectural drawings prepared by *L&Z Partners*. The development is identified in the following plans, drawings, and reports:

- |                              |                                     |
|------------------------------|-------------------------------------|
| ○ DA-A00 Cover Sheet         | ○ DA-F01 Section B                  |
| ○ DA-A01 Site Plan           | ○ DA-F02 Section A+C                |
| ○ DA-A02 Compliance Diagrams | ○ DA-M01 Material Board             |
| ○ DA-A03 Site Analysis       | ○ DA-P01 Photomontages A            |
| ○ DA-A04 Demolition Plan     | ○ DA-P02 Photomontages B            |
| ○ DA-D01 Ground Floor Plan   | ○ DA-S01 Shadow Diagrams Existing 1 |
| ○ DA-D02 Roof Plan           | ○ DA-S02 Shadow Diagrams Existing 2 |
| ○ DA-E01 Elevations East     | ○ DA-S03 Shadow Diagrams Existing   |
| ○ DA-E02 Elevations North    | ○ DA-S04 Shadow Diagrams Proposed 1 |
| ○ DA-E03 Elevations West     | ○ DA-S05 Shadow Diagrams Proposed 2 |
| ○ DA-E04 Elevations South    | ○ DA-S06 Shadow Diagrams Proposed 3 |

## 2.0 About the Site

### 2.1 Site Location

The subject site is located within the City of Sydney Local Government Area. It consists of one Torrens title residential allotment, and is legally known as **Lot 3, DP16828**, and is commonly known as No. 1 Tawa Street, Ashfield 2131 (Zoned as **R2- Low Density Residential**).

The site has a regular rectangle shaped lot with two frontages, and it has a generally North-East orientation, being located at the corner of the Tawa Street. The lot has a total area of 327.7m<sup>2</sup>. The site has a boundary of 10.18m along its primary frontage to Tawa Street on the Eastern side, 25.15m to the northern side boundary, and 28.66m to the southern side boundary, and 13.32m to the western rear boundary. The site slopes to the street and to the south-east corner with a fall of approximately 1.1m.

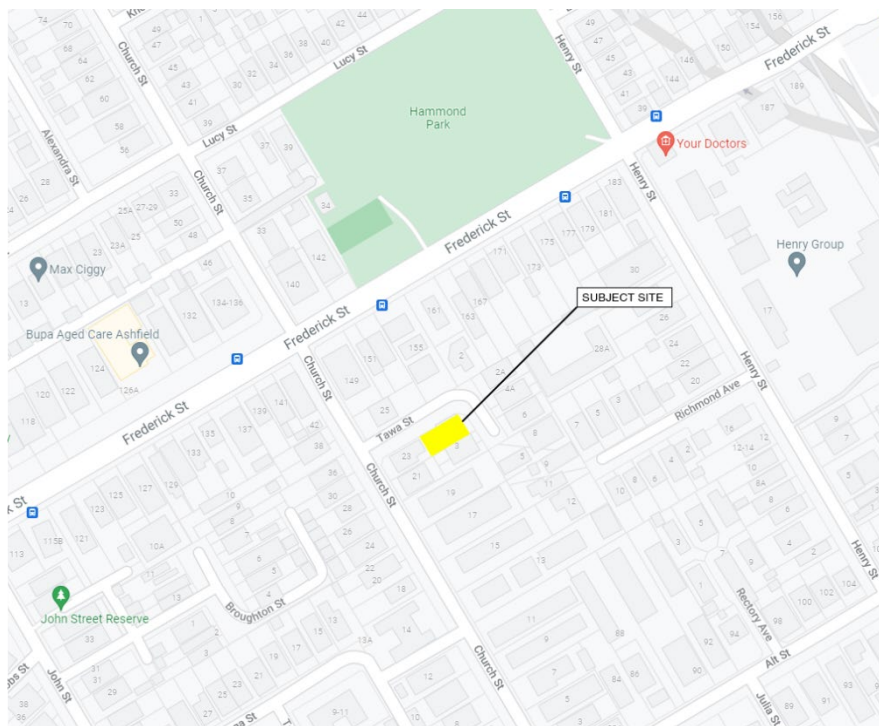


Figure 1: Site location and context (Google Map)



Figure 2: Aerial Photo of Site (Six Map)

## 2.2 Site Description

Item	Description
<i>Legal Description</i>	Lot 3. DP16828
<i>Location</i>	1 Tawa Street, Ashfield, NSW 2131
<i>Total Area</i>	372.7m <sup>2</sup>
<i>Length of Boundaries</i>	Total = 81.7705m
<i>Street Frontages</i>	The site is bounded by Tawa Street to the North-East. The neighbouring property, 3 Tawa Street adjoins the South-East boundary, and 23 Church Street adjoins the South-West boundary.
<i>Previous and Existing Use</i>	Used for residential uses
<i>Site Description</i>	The site is currently occupied by a single storey brick residential dwelling with a rear extension. The site is in rectangular shape, and it has general landscaping with several established trees at the North-West and South-West boundaries. A garage and storage area are located at the rear garden.
<i>Surrounding Context</i>	The surrounding context of the site comprises Low Density Residential Housing (R2) with medium density of vegetations. There are two existing trees at the opposite side of the North-West boundary of the site, that might overshadow the site in winter.
<i>Topography</i>	Generally level



Views of the surrounding context:



Figure 3: Street view of the North-West boundary (Google Map)



Figure 4: Street view of the South-East boundary (Google Map)

### **2.3 Opportunities & Constraints**

The predominant opportunity of the design proposal is to improve the exposure of natural light to the existing house, which currently has an insufficient lighting condition. Also, another major opportunity would be to create a spacious living area with an open plan kitchen that could be connected to the outdoor or the gardens.

In order to achieve the predominant opportunity of introducing more natural light into the property, the design proposes two inner courtyards with glass sliding doors at the north-western and south-eastern side of the property to enhance sunlight exposure. Also, skylights have been brought to the roof of the additional structure of the property to further introduce natural light. These openings not only improve the exposure to natural light, but also enhance cross-ventilation of the interiors of the house.

The major constraint to the design proposal would be the existing overshadowing onto the neighbouring property on the current south-eastern façade, thus, restricting possible addition of a new level. Moreover, due to the narrow distance between the south-eastern façade of the existing property and the neighbouring property, it presents a privacy issue that inhibits the amount of additional windows and their size onto the façade. Nevertheless, there are general constraints to the design proposal relating to the property setbacks, the built form and the prevailing style of the street as well.

Since the location of the property does not lie in the local government heritage conservation zone, complying to the heritage character of the street is not a certain constraint of the design. However, the existing dwellings on the Tawa Street shares an identical style of a single storey Bangalow house, thus, the design intends to keep the existing north-eastern façade and roof so that the property will still be compatible with the surrounding context. Hence, it will not disrupt the greater context of the neighbourhood as well.



## **2.3 Neighbouring Development and Compatibility with Adjoining Development**

The 1 Tawa Street is part of the 12 dwellings along the Tawa Street (No. 1, 2, 2A, 3, 3A, 4, 4A, 5, 6, 8, 23, 25). All the dwellings are one storey in height except of the 5 Tawa Street, which is a two-storey residential building. Also, other than the 2A Tawa Street and 6 Tawa Street, which have white plaster wall frontages, the other dwellings' frontages are all predominantly finished in neutral-coloured bricks. All dwellings along the Tawa Street have an identical built form with their garages and storages at street level. The current 1 Tawa Street is a single storey property with a detached roof form finished in tiles in earth colour.



Figure 5: Aerial view of the dwellings along Tawa Street (Google Map)



Figure 6: Street view of 2 Tawa Street (Google Map)

- **2 Tawa Street** – Located on the north-western side of 1 Tawa Street, single storey brick detached dwelling. Neutral brick render. Terracotta tile roofing.



Figure 7: Street view of 2A Tawa Street (Left) and 4, 4A Tawa Street (Right) (Google Map)

- **2A Tawa Street** – Located on the north side of 1 Tawa Street, single storey brick detached dwelling. White plaster render. Terracotta tile roofing.
- **4 & 4A Street** – Located on the north-eastern side of the 1 Tawa Street, single storey brick detached dwelling. Neutral brick render. Terracotta tile roofing.





Figure 8: Street view of 19 Church Street (Left) and 3, 3A Tawa Street (Right) (Google Map)

- **19 Church Street** – Located on the south-eastern side of the 1 Tawa Street, three storey apartment building. Neutral brick render. Terracotta tile roofing.
- **3 & 3A Tawa Street** – Adjacent to the 1 Tawa Street, semi-detached cottage dwelling. Neutral brick render. Terracotta tile roofing.



Figure 9: Street view of 6 Tawa Street (Left), 8 Tawa Street (Middle) and 5 Tawa Street (Right) (Google Map)

- **6 Tawa Street** – Located on the east side of the 1 Tawa Street, single storey brick detached dwelling. White plaster render. Terracotta tile roofing.
- **8 Tawa Street** - Located on the eastern side of the 1 Tawa Street, single storey brick cottage dwelling. Neutral brick render. Terracotta tile roofing.

- **5 Tawa Street** – Located on the east side of the 1 Tawa Street, two storey brick detached dwelling. White plaster render. Green ceramic tile roofing.



Figure 10: Street view of 23 Church Street (Google Map)

- **23 Church Street** – Located on the south-western side of the 1 Tawa Street, single storey brick cottage dwelling. Neutral brick render. Terracotta tile roofing.



Figure 11: Street view of 25 Church Street (Google Map)

- **25 Church Street** – Located on the southern side of the 1 Tawa Street, single storey brick cottage dwelling. Neutral brick render. Terracotta tile roofing.

### **3.0 The Proposal Development**

The proposal seeks the partial demolition, and alterations and additions to an approved existing Bangalow dwelling comprising internal reconfiguration including new kitchen and dining area, lounge, study area and reallocations of bedrooms, plus two new courtyards including timber decking. The proposal as described in the accompanying plans includes the following:

- Demolition of the south-eastern section of the property
- Demolition of the rear garage and storage
- Development of an open combined kitchen, dining and living room
- Development of a master bedroom with ensuite
- Development of main bath near two (2) bedrooms
- Development of a new garage connected to the house
- Additional lounge/ tv room for kids
- Two (2) additional courtyard gardens with timber decking
- Removal of one (1) tree
- Landscaping of two (2) additional courtyards

The result of the proposed development will be summarised as below:

Item	Description
Site Area	372.2m <sup>2</sup>
Gross Floor Area (GFA)	Proposed GFA = 137.46m <sup>2</sup>
Height	Limited building height (above ground) = 8.5m Existing Ridge Height = 5.7m <sup>2</sup> will be retained
Parking	1 New Garage
Floor space ratio (FSR)	Permissible FSR = 0.70:1 Proposed FSR = 0.37:1
Landscaped Area	Proposed Landscaped Area = 139.28m <sup>2</sup> (37%)
Site Coverage	Proposed = 188.9m <sup>2</sup>



## 4.0 Planning Controls & Assessment

### 4.1 Ashfield Local Environmental Plan (ALEP) 2013

The subject site sits within the Ashfield Local Environmental Plan (ALEP) 2013. The proposed alterations and additions are permissible under the follow ALEP criteria.

Complies  Does not comply 

CONTROL	PERMISSIBLE	EXISTING	PROPOSAL
<i>Zoning</i>	Low Density Residential (R2)	Low Density Residential (R2)	<b>Complies</b> The proposal is permitted in the zone
<i>Floor Space Ratio</i>	Maximum = 0.70:1 Site Area $372.2\text{m}^2 \times 0.7 = 260.89\text{m}^2$	Gross Floor Area = $100\text{m}^2$ $100:372.2 = 0.27:1$	<b>Complies</b> The Proposed GFA is $137.46\text{m}^2$ . The result in Proposed FSR is 0.37:1
Height of Buildings	Maximum Height = 8.5m	Ridge Height = 5.7m	<b>Complies</b> Ridge Height is retained
Heritage	Not listed as heritage area	Non-heritage	<b>Complies</b> Remain current character
Lot Size	Minimum lot size = $500\text{m}^2$	$372.2\text{m}^2$	<b>Complies</b>



## 4.2 Comprehensive Ashfield Development Control Plan (ADCP) 2016

The relevant general objectives from the Residential DCP state the desired future character of the general residential areas is one that:

Complies  Does not comply 

CONTROL	PERMISSIBLE	EXISTING	PROPOSAL
Site and Context Analysis	<p><b>ADCP – Chap A:</b>  <b>Miscellaneous, Part 1: Site and Context Analysis, PC1</b></p> <p>Development is well designed, deriving from and respecting site and desirable neighbourhood characteristics, and reinforcing the character of the LGA.</p> <p><b>DS1.1</b> Development is supported by a Site and Context Analysis that has a level of detail appropriate to its scale and likely impact. Matters for identification, documentation and consideration include:</p> <ul style="list-style-type: none"> <li>- recognised, common scale (eg 1:100)</li> <li>- scale and north point (magnetic north and true north)</li> <li>- use of common or easily recognisable map symbols</li> <li>- clear legend</li> <li>- site area and dimensions, including width,</li> </ul>		Refer Site Analysis

	<p>length and street frontage/s</p> <ul style="list-style-type: none"> <li>- topography, including spot levels and contours</li> <li>- existing vegetation, including species, condition, height and canopy spread</li> <li>- buildings and structures</li> <li>- pedestrian and vehicle access</li> <li>- views and outlooks to and from the site</li> </ul>		
Acoustic and Visual Privacy	<p><b>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC14</b></p> <p>Siting and design:</p> <ul style="list-style-type: none"> <li>- provides an adequate level of visual privacy for development and adjoining properties</li> <li>- ensures windows located above the ground floor are positioned to minimise the likelihood of overlooking adjoining properties</li> </ul> <p><b>DS14.1</b> The number of windows to side elevations located above the ground floor is minimised</p> <p><b>DS14.2</b> Windows on side elevations are positioned to not be in a direct line with windows on adjoining development</p>	<p><b>Compliant</b></p> <p>Colourbond fencing on both side of the property protects visual privacy</p> <p>1. Bathroom windows are high</p> <p>2. Fencing and setback improve visual privacy</p> <p>3. The site has small acoustic issues by being exposed on two sides of the site.</p> <p>3. There are too many windows on the southern side of the house, enabling views from adjacent property.</p> <p>5. Lack of visual privacy from neighboring apartment blocks with balconies overlooking the backyard and the sunroom.</p>	<p><b>Compliant</b></p> <p>Colourbond fencing on both side of the property are retained</p> <p>Existing trees provide visual privacy</p> <p>Reduced amount and size of the windows on the south eastern side to increase visual privacy</p>
Solar Access and Overshadowing	<p><b>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC13</b></p> <p>Siting and design:</p>	<p>1. The existing interior lacks sufficient natural light</p> <p>2. The master bedroom window is facing the</p>	<p><b>Compliant</b></p> <p>Refer to Shadow Diagrams</p>

	<ul style="list-style-type: none"> <li>- provides an adequate amount of desirable sunlight to main living areas and adjoining private open space of the development and adjoining properties</li> <li>- reduces the adverse impact of direct afternoon summer sun</li> </ul> <p><b>DS13.1</b> Sunlight to at least <b>50%</b> of private open space areas of adjoining properties is <b>not reduced to less than three (3) hours between 9 am and 3 pm on 21 June</b></p> <p><b>DS13.2</b> Existing solar access is maintained to at least <b>40%</b> of the glazed areas of any neighbouring north facing primary living area windows for a period of <b>at least three (3) hours between 9 am and 3 pm on 21 June</b></p>	<p>North-eastern side, but the other bedroom is lack of sunlight.</p>	<p>Main living area is located on the northern side of the house</p> <p>Clerestory windows increases the amount of natural light onto the Southern side of the house</p> <p>Folded glass doors at the two new courtyard gardens increase solar access to the living and dining area</p>
Residential Fencing	<p><b>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC7</b></p> <p>Boundary fences and gates:</p> <ul style="list-style-type: none"> <li>- achieve an appropriate balance between providing for visual privacy and enabling the dwelling to activate and engage with the street</li> <li>- minimise the visual dominance of fencing forward of the front building line</li> </ul>	<p><b>Compliant</b></p> <p>No high solid walls</p> <p>Existing fencing complies with all ADCP requirements</p> <p>Side and surrounding colourbond fencing is at <b>1.8m</b></p>	<p><b>Compliant</b></p> <p>No high solid walls</p> <p>Existing <b>1.8m</b> colourbond fencing is retained</p>

	<p>- where forward of the front building line complements the building and its context</p> <p><b>DS7.1</b> The maximum height of rear and a side boundary fence which does not extend forward of the predominant building line is <b>1.8m</b></p> <p><b>DS7.2</b> The maximum height of a font and side fence forward of the front building line is <b>1.2m</b></p>		
Sustainable Design	<p><b>ADCP – Chap C: Sustainability, Part 1: Building Sustainability, PC1</b></p> <p>Development reduces its impact on the natural environment through:</p> <ul style="list-style-type: none"> <li>- reducing potable water use</li> <li>- increasing the capture and re-use of rainwater</li> <li>- recycling greywater</li> <li>- reduces energy consumption</li> <li>- reducing use of mechanical systems for heating, cooling and lighting</li> </ul> <p><b>DS1.1</b> Residential development incorporates a combination of:</p> <ul style="list-style-type: none"> <li>- passive solar design</li> <li>- a solar hot water system</li> <li>- photovoltaic cells</li> <li>- gas hot water system</li> <li>- rainwater tanks</li> <li>- eaves and other overhangs to windows on west facing elevations</li> <li>- locating and orienting main living areas to the north</li> </ul>	<p><b>Compliant</b></p> <p>Lots of lawn area for groundwater</p> <p>Water recycling system (small water tank is placed under the extension shed for watering the garden area)</p> <p>Existing hot water system mounted on the roof</p>	<p><b>Compliant</b></p> <p>Existing hot water system mounted on the roof is retained</p> <p>Additional <b>2000L</b> water tank at the south-western side for rainwater recycling</p> <p>Clerestory windows improve solar access</p>

	<ul style="list-style-type: none"> <li>- light coloured roofing material</li> <li>- insulation</li> <li>- use of deciduous trees</li> </ul>		
Tree Management	<p><b>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC15</b></p> <p><b>DS15.2</b> Where retention of trees is impractical due to site constraints, tree removal trees or planting of new or replacement trees is to be consistent with the Tree Preservation Order within <b>Part C4 – Tree Preservation and Management</b> of this DCP</p>	<p><b>Compliant</b></p> <p>T1, T2, T3, T4</p>	<p><b>Compliant</b></p> <p>T2, T3 and T4 are retained</p> <p>T1 is removed</p> <p>T5 is added</p>
Landscaping and Open Spaces	<p><b>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC8</b></p> <p>Landscaped areas:</p> <ul style="list-style-type: none"> <li>- soften the visual impact of built form</li> <li>- are sympathetic to the existing character of the streetscape</li> <li>- provide adequate open space suitable for activities and recreation</li> </ul> <p><b>DS8.2</b> Minimum Landscaped Area for 301-400m<sup>2</sup>: 28% of site area Refer to Site: 372.2 x 28% = 104.356m<sup>2</sup></p> <p><b>DS8.3</b> Maximum Landscaped Area for 301-400m<sup>2</sup>: 60% of site area</p>	<p><b>Compliant</b></p> <p>Current landscaped area is 161.2m<sup>2</sup></p> <p>Current property has both front and rear gardens for recreation and activities</p> <p>Front garden has sufficient area for ground cover and vegetations</p> <p>Accessible from living area</p> <p>Rear garden has sufficient landscaped area, featuring grass lawn, herbal plantation, bushes, and trees. Platform with bench for leisure and social activities.</p>	<p><b>Compliant</b></p> <p>New landscaped area is 139.28m<sup>2</sup></p> <p>Two additional courtyard gardens at the south-eastern and north-western side</p> <p>Refurbishment of the gardens and lawns</p> <p>Front garden is retained</p> <p>One of the rear trees is retained and one is removed</p> <p>Adequate level of solar access, natural ventilation and privacy</p>



	<p>Refer to Site: <math>372.2 \times 60\% = 223.62\text{m}^2</math></p> <p>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC9</p> <p>Landscaped open space provide a contiguous area of principal private open space that is useable and has a high level of amenity</p> <p><b>DS9.1</b> Principal private open space is:</p> <ul style="list-style-type: none"> <li>- directly accessible from and at the same level as ground floor living area</li> <li>- has a minimum area of <math>20\text{m}^2</math></li> <li>- has an appropriate level of solar access, natural ventilation and privacy</li> </ul>		
Dwelling Types	<p>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC2</p> <p>Development does not detract from the heritage values of a heritage place or heritage conservation area</p>	Non-heritage	Residential Dwelling
Built Form and Character	<p>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC3</p>	<p><b>Compliant</b></p> <p>The existing building is in <b>R2 Low Density Zone</b></p>	<b>Compliant</b>

	<p>Development site cover, height, width and length:</p> <ul style="list-style-type: none"> <li>- is compatible with that prevailing in the street</li> <li>- is sympathetic to neighbouring development</li> <li>- has minimal impact on neighbouring properties in terms of overshadowing and overlooking</li> </ul> <p><b>DS3.1</b> In the <b>R2</b> Low Density Residential zone, development has the appearance of a single, detached dwelling</p> <p><b>DS3.3</b> Maximum building height:</p> <ul style="list-style-type: none"> <li>- complies with the <b>Ashfield LEP 2013</b></li> <li>- appears as <b>2</b> storeys</li> </ul> <p><b>DS3.4</b> Maximum external wall height of <b>6m</b> measured from the existing ground level</p> <p><b>DS3.6</b> Maximum roof pitch (slope) does not exceed the predominant roof pitch of existing dwelling houses in the street</p> <p><b>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC4</b></p> <p>Building setbacks:</p> <ul style="list-style-type: none"> <li>- are consistent with that prevailing in the</li> </ul>	<p>External wall height is less than <b>6m</b></p> <p><b>Compliant</b></p>	<p><b>Non-Complaint</b></p> <p>New Garage is located at the same location as the existing garage to the setbacks</p>
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	<p>street</p> <ul style="list-style-type: none"> <li>- provide adequate open space and vegetation</li> <li>- provide adequate visual and acoustic privacy</li> <li>- provide adequate solar access</li> <li>- provide adequate access from the rear garden to the street for removal of garden waste, household waste and storage items</li> </ul> <p><b>DS4.2</b> Front setbacks establish a front garden that has sufficient area and dimensions for ground cover vegetation and trees</p> <p><b>DS4.3</b> Side setbacks are determined by compliance with the <b>Building Code of Australia</b>. Generally, Council requires a minimum side setback of <b>900mm</b> for houses, and a minimum side setback of <b>450mm</b> for outbuildings including garages and sheds</p> <p><b>DS4.4</b> The minimum side setback is <b>900mm</b> for the entire length of the building</p> <p><b>DS4.5</b> The minimum side setback for outbuildings, including garages and sheds, where not located between the main building and side boundary is <b>450mm</b></p>		
Good Design	ADCP – Chap A: Miscellaneous, Part 2: Good Design, PC1	<p><b>Compliant</b></p> <p>Use of solar power electricity generation</p>	<b>Compliant</b>

	<p>Development:</p> <ul style="list-style-type: none"> <li>- responds and contributes to its context</li> <li>- contributes to the quality and identity of the area</li> </ul> <p>ADCP – Chap A: Miscellaneous, Part 2: Good Design, PC2, 2.1</p> <p>Development has a scale that suits the scale of the street and the surrounding buildings</p> <p>Development has a built form that is appropriate for the site and the building's purpose in terms of building alignments, proportions, building type and building elements</p> <p>ADCP – Chap A: Miscellaneous, Part 2: Good Design, PC4</p> <p>Development makes efficient use of natural resources, energy and water throughout its full life cycle</p> <p>ADCP – Chap A: Miscellaneous, Part 2: Good Design, PC5</p> <p>Development incorporates landscaping that builds on the existing site's natural and cultural features in responsible and creative ways</p> <p>ADCP – Chap A: Miscellaneous, Part 2: Good Design, PC6</p>	<p>Single storey promotes privacy for neighbours</p> <p>Maintain internal privacy and safety</p> <p>Clear definition of public and private space</p> <p>Relates to the environment and surrounding context</p>	
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	<p>Development that provides amenity through high quality physical, spatial and environmental design</p> <p>ADCP – Chap A: Miscellaneous, Part 2: Good Design, PC7</p> <p>Development that optimises safety and security, both internal to the development and for the public domain</p> <p>ADCP – Chap A: Miscellaneous, Part 2: Good Design, PC8</p> <p>Development that has an appropriate composition and architectural standard, including its building elements, textures, materials and colours</p>		
Parking	<p>ADCP – Chap F: Development Category Guidelines, Part 1: Dwelling House and Dual Occupancy, PC6</p> <p>Garages and carports:</p> <ul style="list-style-type: none"> <li>- Adequate car accommodation for residents of the site</li> <li>- Are sympathetic to the scale and character of the streetscape</li> </ul> <p><b>DS6.1</b> A minimum of <b>1</b> carparking is required per dwelling</p>	<p><b>Compliant</b></p> <p><b>1</b> Garage parking</p> <p>The site is located on a corner block, with carport access on the side of the building.</p> <p>The garage door is setback approximately <b>1.5m</b> from the boundary</p>	<p><b>Compliant</b></p> <p><b>1</b> New garage parking</p>



	<p><b>DS6.2</b> Garages and carports complement the scale, form and style of the primary dwelling and streetscape</p> <p><b>DS6.3</b> Garages and carports are setback a minimum of <b>1m</b> from the house's front building line</p>		
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## **5.0 The Conclusion**

This Statement of Environmental Effects (SEE) has demonstrated that the proposed alterations and additions development at 1 Tawa Street, Ashfield is permissible on the site and represents a desirable outcome for the site and the locality.

The assessment demonstrates that this proposal exhibits a high degree of compliance with the relevant sections of the ALEP2013. The proposed development is permissible in the R2 Low Density Residential zone, complies with the height limit and FSR development standards. In this regard, the proposal will not have a significant adverse amenity impact on to the adjoining neighborhood and streetscape with regards to visual impact from bulk and scale, loss of privacy, overshadowing and views.

The proposal demonstrates a high degree of compliance with SDCP2012, particularly in regard to the key amenity criteria within the DCP, including solar access, landscaping and private open space, plus visual privacy.

The proposal complies with all relevant landscape controls and retains a number of significant trees which ensures that the property is provided within a landscape setting which is consistent with the desired future character of the area. The new courtyard gardens and its landscaping will add to the long-term visual amenity and scenic quality of the surroundings and make a positive visual impact over time that will enhance the recreational amenity for occupants.

The proposed courtyard gardens will improve the amenity and livability of the existing dwelling for the occupants, while retaining visual and acoustic privacy amenity to adjoining neighbors. No impact to the streetscape is expected, given the courtyards are located behind

1.8m colourbond fence, and below the height of the exiting retained roof ridge, being indiscernible from the public domain.

Overall, it is considered that the proposed development represents a high-quality design outcome which achieves a high level of internal amenity while maintaining amenity to surrounding dwellings and is a desirable outcome for Tawa Street and the surrounding conservation area.

Based on these considerations, the proposal is considered to be appropriate for the site and worthy of approval.



DRAWING REGISTER		
DRAWING NO.	DRAWING TITLE	SCALE
1 INTRODUCTORY DOCUMENTS		
DA-A00	COVER SHEET	NTS
DA-A01	SITE PLAN	1:500 @ A3
DA-A02	COMPLIANCE DIAGRAMS	1:200 @ A3
DA-A03	SITE ANALYSIS	1:100 @ A3
DA-A04	DEMOLITION PLAN	1:100 @ A3
2 GENERAL ARRANGEMENTS		
DA-D01	GROUND FLOOR PLAN	1:100 @ A3
DA-D02	ROOF PLAN	1:100 @ A3
DA-E01	ELEVATIONS EAST	1:100 @ A3
DA-E02	ELEVATIONS NORTH	1:100 @ A3
DA-E03	ELEVATIONS WEST	1:100 @ A3
DA-E04	ELEVATIONS SOUTH	1:100 @ A3
DA-F01	SECTION B	1:100 @ A3
DA-F02	SECTION A+C	1:100 @ A3
3 APPENDICES		
DA-M01	MATERIAL BOARD	NTS
DA-P01	PHOTOMONATGES A	NTS
DA-P02	PHOTOMONATGES B	NTS
DA-S01	SHADOW DIAGRAMS -9AM JUNE 21- EXISTING	1:100 @ A3
DA-S02	SHADOW DIAGRAMS -12PM JUNE 21- EXISTING	1:100 @ A3
DA-S03	SHADOW DIAGRAMS -3PM JUNE 21- EXISTING	1:100 @ A3
DA-S04	SHADOW DIAGRAMS -9AM JUNE 21- PROPOSED	1:100 @ A3
DA-S05	SHADOW DIAGRAMS -12PM JUNE 21- PROPOSED	1:100 @ A3
DA-S06	SHADOW DIAGRAMS -3PM JUNE 21- PROPOSED	1:100 @ A3



01

CONTEXT PLAN

1:500



Wilkinson Building,  
Darlington NSW 2008  
+610412345678

KEY

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
NTS



North Point

CLIENT  
Freddie Mercury

FIRST ISSUE  
28.10.2021

ADDRESS  
1 TAWA ST, ASHFIELD

DRAWING  
COVER SHEET

REV:  
A

DA-A00





01  
-  
SITE PLAN  
1:500

KEY

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:500 @ A3



CLIENT  
Freddie Mercury

FIRST ISSUE  
28.10.2021

ADDRESS  
1 TAWA ST, ASHFIELD

DRAWING  
SITE PLAN

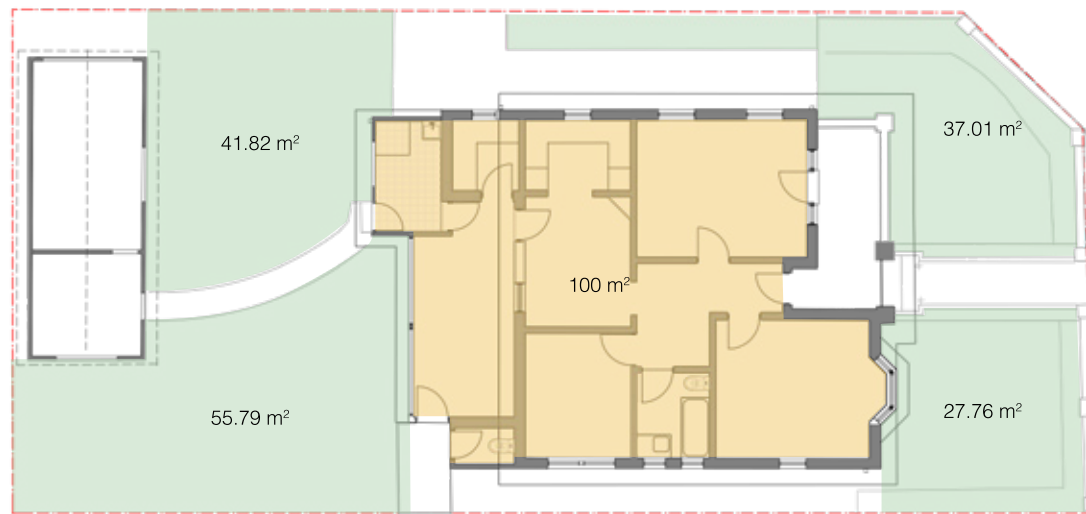
REV.  
A

DA-A01



Wilkinson Building,  
Darlington NSW 2008  
+610412345678





01  
-  
GFA-EXISTING  
1:200

## FLOORSPACE RATIO

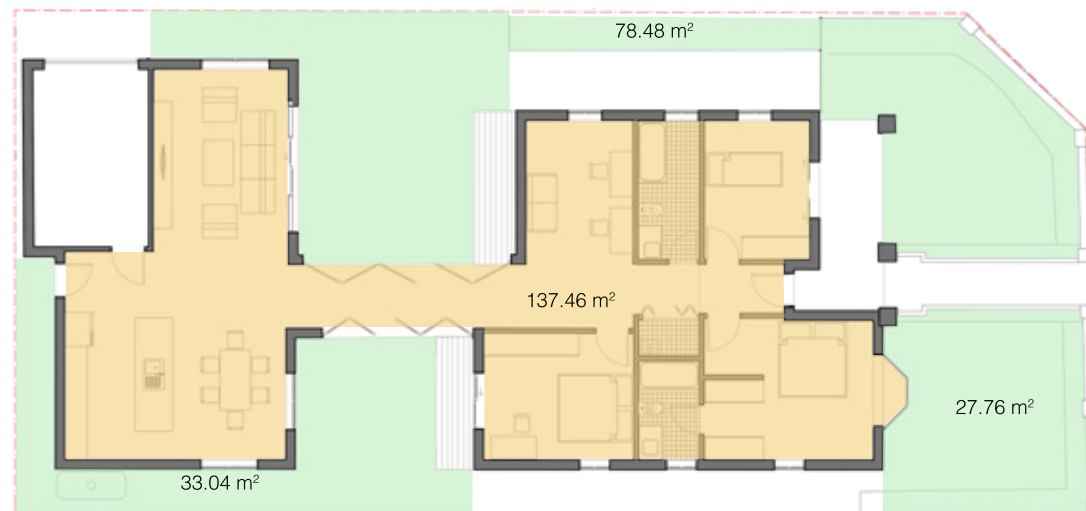
SITE AREA: 372.7m<sup>2</sup>

EXISTING GFA: 100m<sup>2</sup>

EXISTING FSR: 0.27:1

PROPOSED GFA: 137.46m<sup>2</sup>

PROPOSED FSR: 0.37:1



02  
-  
GFA-PROPOSED  
1:200

## LANDSCAPE AREA RATIO

SITE AREA: 372.7m<sup>2</sup>

EXISTING LANDSCAPE AREA: 162m<sup>2</sup>

EXISTING LANDSCAPE AREA RATIO:

0.43:1

PROPOSED LANDSCAPE AREA:

139.28m<sup>2</sup>

PROPOSED LANDSCAPE AREA

RATION: 0.37:1

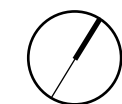


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REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:200 @ A3



North Point

CLIENT  
Freddie Mercury

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28.10.2021

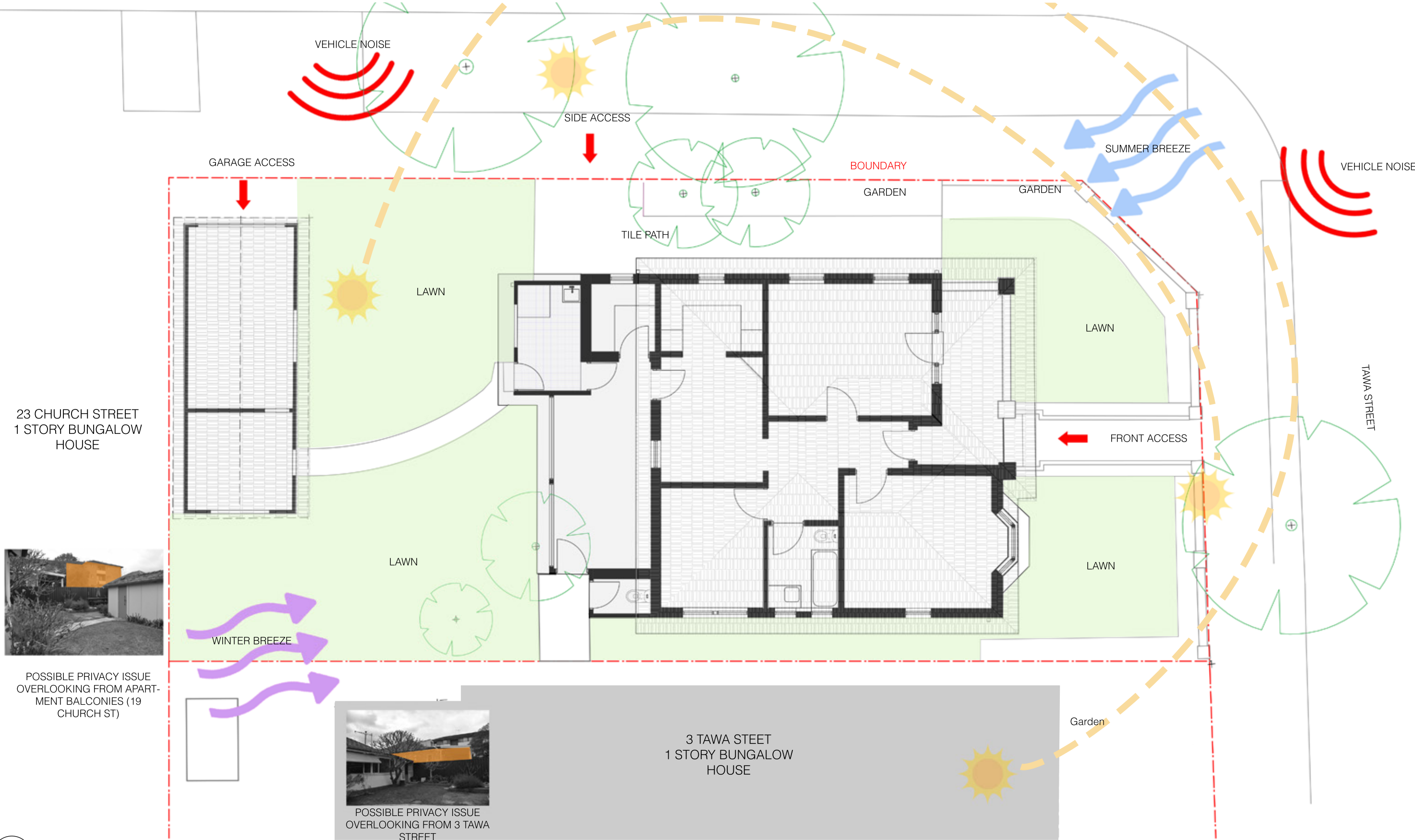
ADDRESS  
1 TAWA ST, ASHFIELD

DRAWING

COMPLIANCE DIAGRAMS

REV:  
A

DA-A02



23 CHURCH STREET  
1 STORY BUNGALOW  
HOUSE

POSSIBLE PRIVACY ISSUE  
OVERLOOKING FROM APART-  
MENT BALCONIES (19  
CHURCH ST)



3 TAWA STEET  
1 STORY BUNGALOW  
HOUSE

POSSIBLE PRIVACY ISSUE  
OVERLOOKING FROM 3 TAWA  
STREET

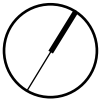
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SITE ANALYSIS  
1:100

KEY

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3



North Point

CLIENT Freddie Mercury	DRAWING SITE ANALYSIS
FIRST ISSUE 28.10.2021	REV. A
ADDRESS 1 TAWA ST, ASHFIELD	DA-A03







Wilkinson Building,  
Darlington NSW 2008  
+610412345678

DEMOLITION PLAN  
1:100



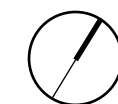
Wilkinson Building,  
Darlington NSW 2008  
+610412345678

## KEY

- |   |  |
|---|--|
|  | EXISTING NEIGHBORS                               |
|  | EXISTING STRUCTURE/HARD SURFACE TO BE MAINTAINED |
|  | EXISTING STRUCTURE/HARD SURFACE TO BE DEMOLISHED |
|  | EXISTING FLOOR TO BE DEMOLISHED                  |

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3



North Point

CLIENT  
Freddie Mercury

FIRST ISSUE  
28.10.2021

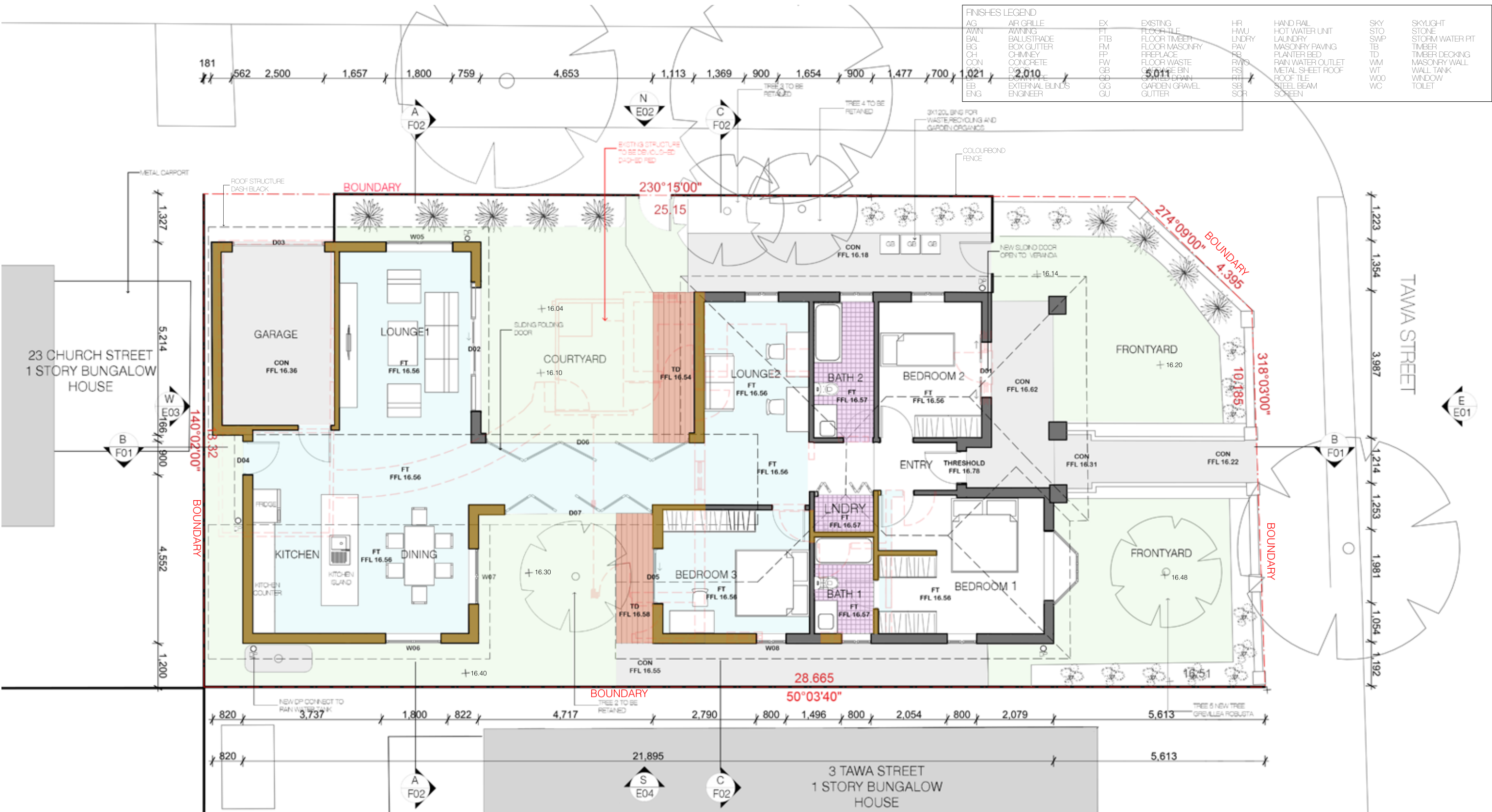
ADDRESS  
1 TAWA ST, ASHFIELD

DRAWING  
DEMOLITION PLAN

EV.  
A

DA-A04





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Darlington NSW 2008  
+610412345678

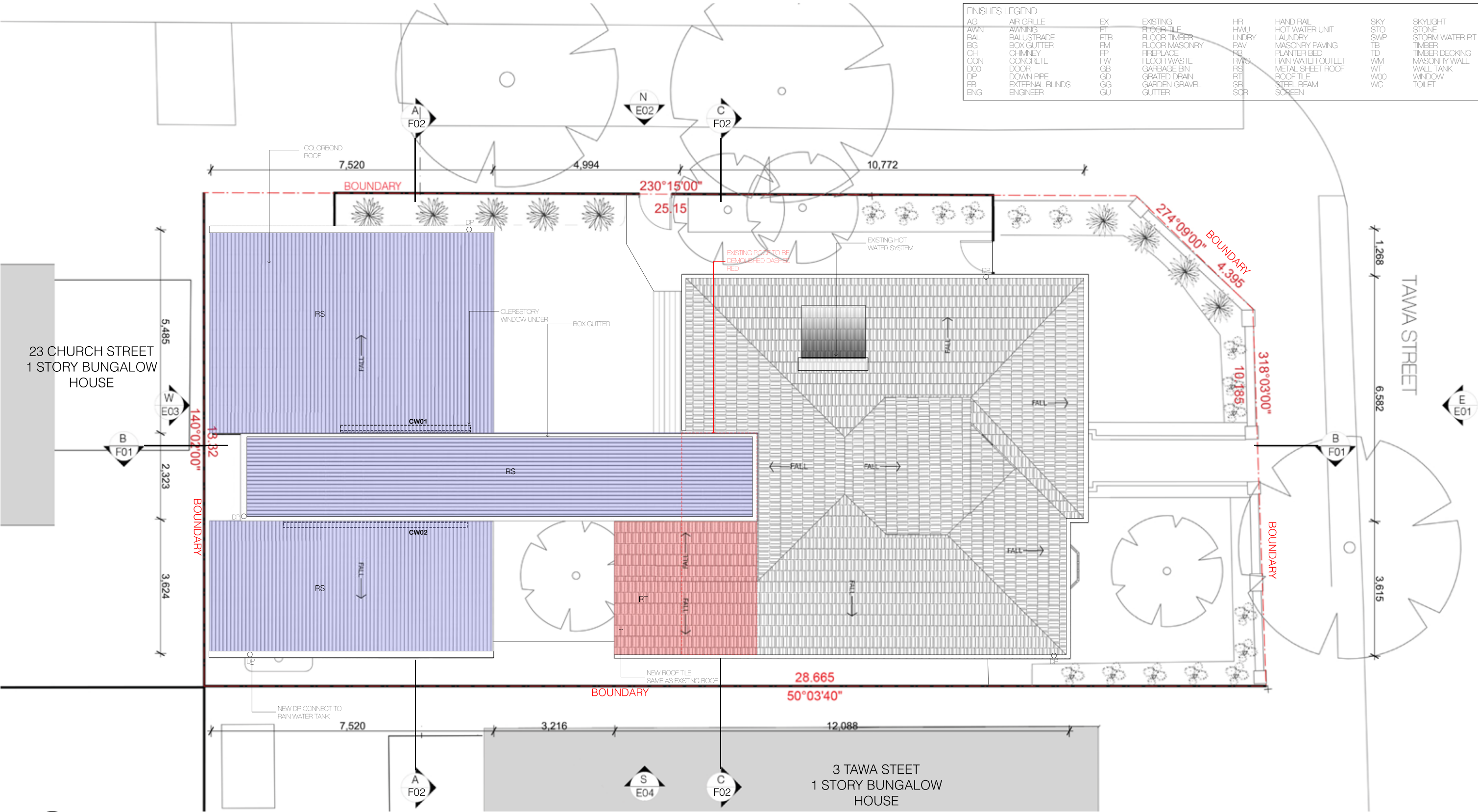
REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3



CLIENT	DRAWING
Freddie Mercury	GROUND FLOOR PLAN
FIRST ISSUE 28.10.2021	REV. A
ADDRESS 1 TAWA ST, ASHFIELD	DA-D01

FINISHES LEGEND							
AG	AWN	EX	EXISTING	HR	HAND RAIL	SKY	SKYLIGHT
BAL	BAL	FT	FLOOR TILE	HWU	HOT WATER UNIT	STO	STONE
BG	BOX GUTTER	FTB	FLOOR TIMBER	LDNRY	LAUNDRY	SWP	STORM WATER PIT
CH	CHIMNEY	FM	FLOOR MASONRY	PAV	MASONRY PAVING	TB	TIMBER
CON	CONCRETE	FP	FIREPLACE	PLNTR BED	PLANTER BED	TD	TIMBER DECKING
D00	DOWN PIPE	FW	FLOOR WASTE	RWO	RAIN WATER OUTLET	VM	MASONRY WALL
DP	DOWN PIPE	GB	GARBAGE BIN	RS	METAL SHEET ROOF	WT	WALL TANK
EB	EXTERNAL BLINDS	GD	GRADED DRAIN	RT	ROOF TILE	W00	WINDOW
ENG	ENGINEER	GG	GARDEN GRAVEL	SB	STEEL BEAM	WC	TOILET
		GU	GUTTER	SCR	SCREEN		



01  
-  
ROOF PLAN  
1:100



Wilkinson Building,  
Darlington NSW 2008  
+610412345678

KEY	
	EXISTING NEIGHBORS
	EXISTING STRUCTURE/HARD SURFACE TO BE MAINTAINED
	PROPOSED ROOF TILE
	PROPOSED ROOF METAL SHEET
	PROPOSED MASONRY STRUCTURE

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

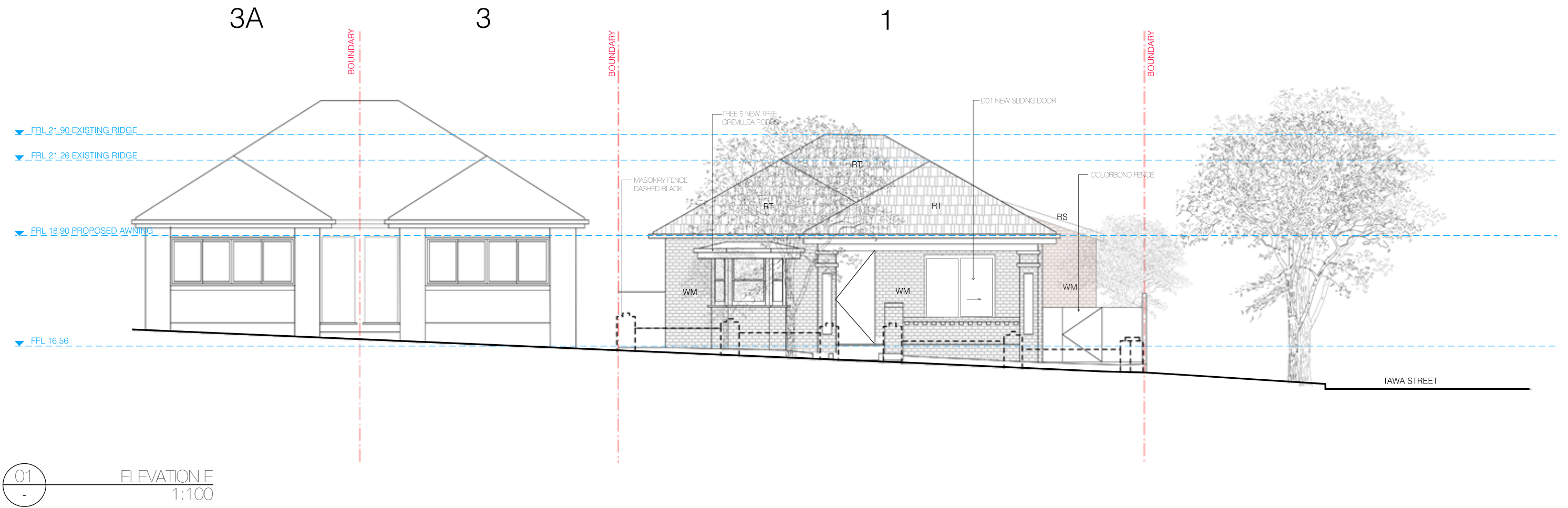
SCALE  
1:100 @ A3

North Point

CLIENT	DRAWING
Freddie Mercury	ROOF PLAN
FIRST ISSUE 28.10.2021	REV: A
ADDRESS 1 TAWA ST, ASHFIELD	DA-D02



FINISHES LEGEND							
AG	AIR GRILLE	EX	EXISTING	HR	HAND RAIL	SKY	SKYLIGHT
AWN	AWNING	FT	FLOOR TILE	HWU	HOT WATER UNIT	STO	STONE
BAL	BALUSTRADE	FTB	FLOOR TIMBER	LNDRY	LAUNDRY	SWP	STORM WATER PIT
BG	BOX GUTTER	FM	FLOOR MASONRY	PAV	MASONRY PAVING	TB	TIMBER
CH	CHIMNEY	FP	FIREPLACE	PB	PLANTER BED	TD	TIMBER DECKING
CON	CONCRETE	FW	FLOOR WASTE	RWO	RAIN WATER OUTLET	WM	MASONRY WALL
D00	DOOR	GB	GARBAGE BIN	RS	METAL SHEET ROOF	WT	WALL TANK
DP	DOWN PIPE	GD	GRATED DRAIN	RT	ROOF TILE	W00	WINDOW
EB	EXTERNAL BUNDS	GG	GARDEN GRAVEL	SB	STEEL BEAM	WC	TOILET
ENG	ENGINEER	GU	GUTTER	SCR	SCREEN		



01  
-  
ELEVATION E  
1:100



Wilkinson Building,  
Darlington NSW 2008  
+610412345678

KEY	
	EXISTING NEIGHBORS
	EXISTING STRUCTURE/HARD SURFACE TO BE MAINTAINED
	PROPOSED ROOF TILE
	PROPOSED ROOF METAL SHEET
	PROPOSED MASONRY STRUCTURE

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3

CLIENT Freddie Mercury	DRAWING ELEVATIONS EAST
FIRST ISSUE 28.10.2021	REV. A
ADDRESS 1 TAWA ST, ASHFIELD	DA-E01

FINISHES LEGEND							
AG	AIR GRILLE	EX	EXISTING	HR	HAND RAIL	SKY	SKYLIGHT
AWN	AWNING	FT	FLOOR TILE	HWU	HOT WATER UNIT	STO	STONE
BAL	BALUSTRADE	FTB	FLOOR TIMBER	LNDRY	LAUNDRY	SWP	STORM WATER PIT
BG	BOX GUTTER	FM	FLOOR MASONRY	PAV	MASONRY PAVING	TB	TIMBER
CH	CHIMNEY	FP	FIREPLACE	PB	PLANTER BED	TD	TIMBER DECKING
CON	CONCRETE	FW	FLOOR WASTE	RWO	RAIN WATER OUTLET	WM	MASONRY WALL
D00	DOOR	GB	GARBAGE BIN	RS	METAL SHEET ROOF	WT	WALL TANK
DP	DOWN PIPE	GD	GRATED DRAIN	RT	ROOF TILE	W00	WINDOW
EB	EXTERNAL BLINDS	GG	GARDEN GRAVEL	SB	STEEL BEAM	WC	TOILET
ENG	ENGINEER	GU	GUTTER	SOR	SCREEN		



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KEY

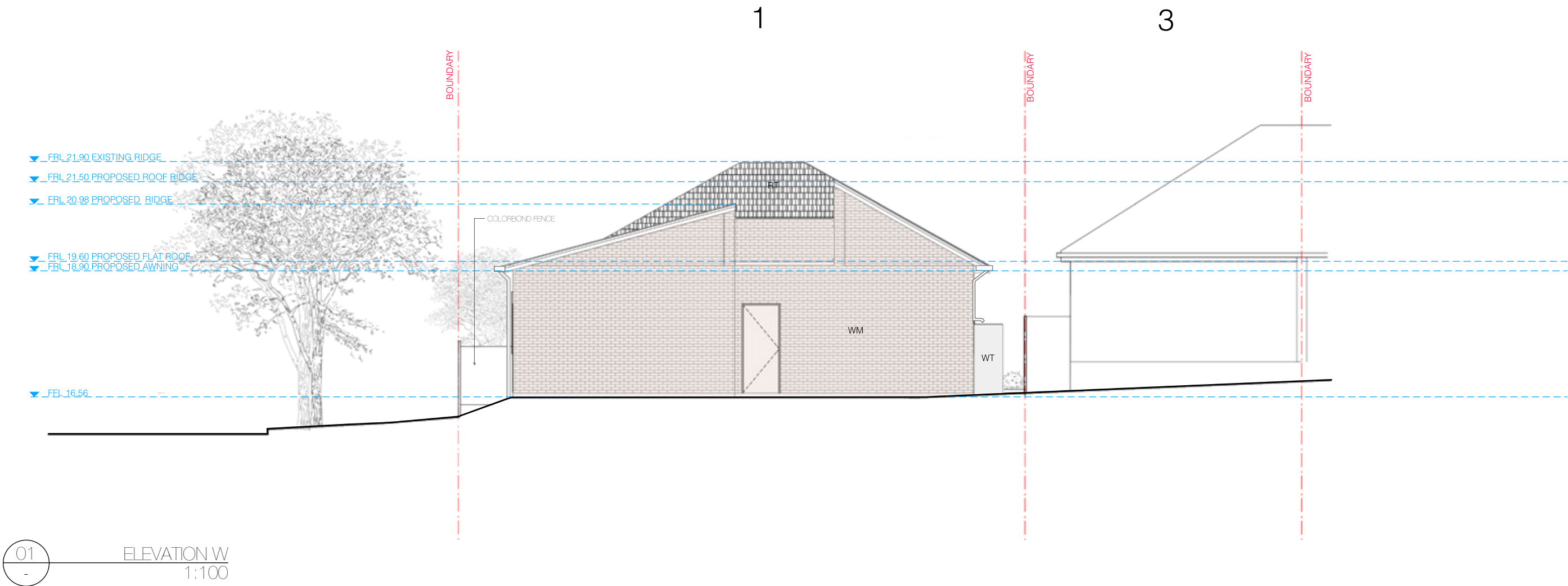
- EXISTING NEIGHBORS
- EXISTING STRUCTURE/HARD SURFACE TO BE MAINTAINED
- PROPOSED ROOF TILE
- PROPOSED ROOF METAL SHEET
- PROPOSED MASONRY STRUCTURE

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3

CLIENT Freddie Mercury	DRAWING ELEVATIONS NORTH
FIRST ISSUE 28.10.2021	REV: A
ADDRESS 1 TAWA ST, ASHFIELD	DA-E02

FINISHES LEGEND			
AG	AIR GRILLE	EX	EXISTING
AWN	AWNING	FT	FLOOR TILE
BAL	BALUSTRADE	FTB	FLOOR TIMBER
BG	BOX GUTTER	FM	FLOOR MASONRY
CH	CHIMNEY	FP	FIREPLACE
CON	CONCRETE	FW	FLOOR WASTE
D00	DOOR	GB	GARBAGE BIN
DP	DOWN PIPE	GD	GRADED DRAIN
EB	EXTERNAL BLINDS	GG	GARDEN GRAVEL
ENG	ENGINEER	GU	GUTTER
HR	HAND RAIL		
HWU	HOT WATER UNIT		
LNDRY	LAUNDRY		
PAV	MASONRY PAVING		
PB	PLANTER BED		
RWO	RAIN WATER OUTLET		
RS	METAL SHEET ROOF		
RT	ROOF TILE		
SB	STEEL BEAM		
SCR	SCREEN		
SKY	SKYLIGHT		
STO	STONE		
SWP	STORM WATER PIT		
TB	TIMBER		
TD	TIMBER DECKING		
WM	MASONRY WALL		
WT	WALL TANK		
W00	WINDOW		
WC	TOILET		



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KEY

- EXISTING NEIGHBORS
- EXISTING STRUCTURE/HARD SURFACE TO BE MAINTAINED
- PROPOSED ROOF TILE
- PROPOSED ROOF METAL SHEET
- PROPOSED MASONRY STRUCTURE

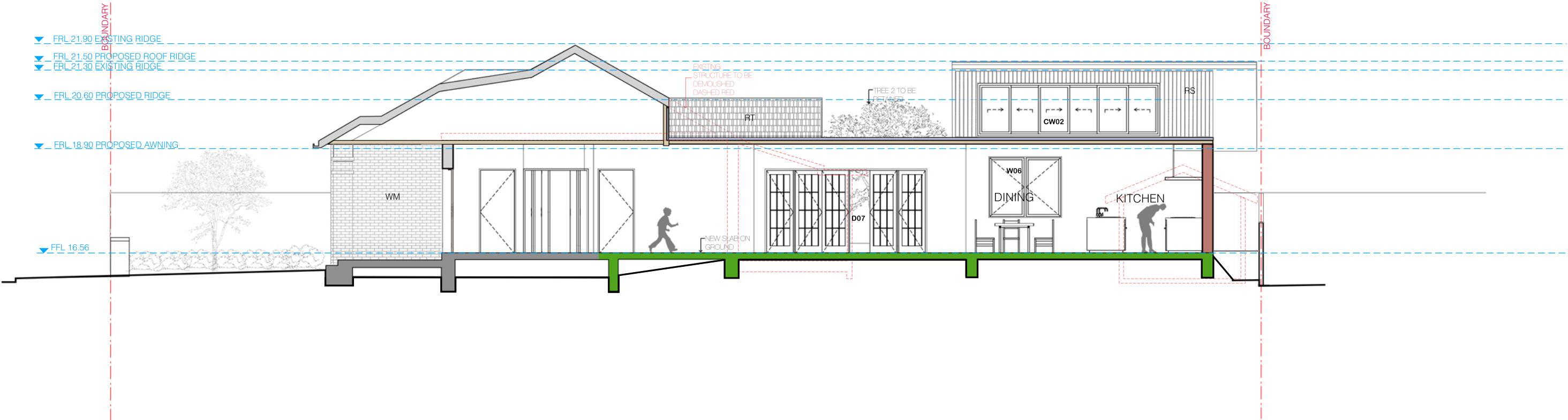
REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3

CLIENT Freddie Mercury	DRAWING ELEVATIONS WEST
FIRST ISSUE 28.10.2021	REV. A
ADDRESS 1 TAWA ST, ASHFIELD	DA-E03



FINISHES LEGEND							
AG	AIR GRILLE	EX	EXISTING	HR	HAND RAIL	SKY	SKYLIGHT
AWN	AWNING	FT	FLOOR TILE	HMJ	HOT WATER UNIT	STO	STONE
BAL	BALUSTRADE	FTB	FLOOR TIMBER	LNDRY	LAUNDRY	SWP	STORM WATER PIT
BG	BOX GUTTER	FM	FLOOR MASONRY	PAV	MASONRY PAVING	TB	TIMBER
CH	CHIMNEY	FP	FIREPLACE	PB	PLANTER BED	TD	TIMBER DECKING
CON	CONCRETE	FW	FLOOR WASTE	RWO	RAIN WATER OUTLET	WM	MASONRY WALL
D00	DOOR	GB	GARBAGE BIN	RS	METAL SHEET ROOF	WT	WALL TANK
DP	DOWN PIPE	GD	GRATED DRAIN	RT	ROOF TILE	W00	WINDOW
EB	EXTERNAL BUNDS	GG	GARDEN GRAVEL	SB	STEEL BEAM	WC	TOILET
ENG	ENGINEER	GU	GUTTER	SCR	SCREEN		



01  
SECTION B  
1:100



Wilkinson Building,  
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KEY	
	EXISTING STRUCTURE/HARD SURFACE TO BE MAINTAINED
	PROPOSED ROOF STRUCTURE
	PROPOSED ROOF METAL SHEET
	PROPOSED MASONRY STRUCTURE
	PROPOSED CONCRETE STRUCTURE

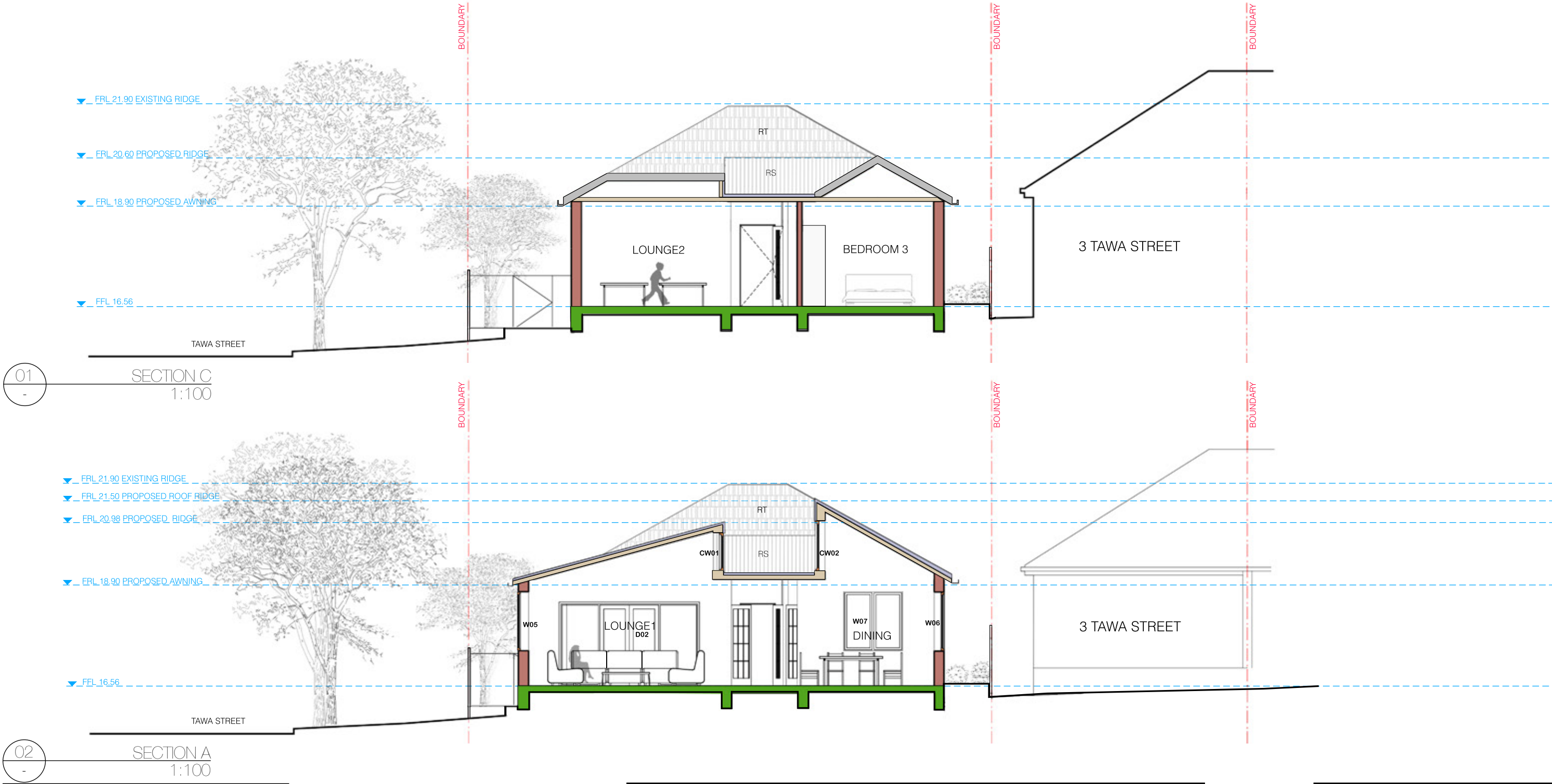
REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3

CLIENT Freddie Mercury	DRAWING SECTION B
FIRST ISSUE 28.10.2021	REV. A
ADDRESS 1 TAWA ST, ASHFIELD	DA-F01



FINISHES LEGEND							
AG	AWN	BAL	BG	CH	CON	D00	DP
EB	ENG	AIR GRILLE	AWNING	BALUSTRADE	BOX GUTTER	CHIMNEY	CONCRETE
DOOR	DOWN PIPE	EXTERNAL BLINDS	ENGINEER	FT	FTB	FM	FP
FW	GB	GD	GG	GU	EXISTING FLOOR TILE	FLOOR TIMBER	FLOOR MASONRY
FIREPLACE	FLOOR WASTE	GARBAGE BIN	GRATED DRAIN	GARDEN GRAVEL	GUTTER	HR	HWU
LAUNDRY	MASONRY PAVING	PLANTER BED	RAIN WATER OUTLET	METAL SHEET ROOF	ROOF TILE	STEEL BEAM	SCREEN
SKY	STO	SWP	TB	TD	WM	WT	W00
WC	SKYLIGHT	STONE	STORM WATER PIT	TIMBER	TIMBER DECKING	MASONRY WALL	WALL TANK
WINDOW	TOILET						



REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

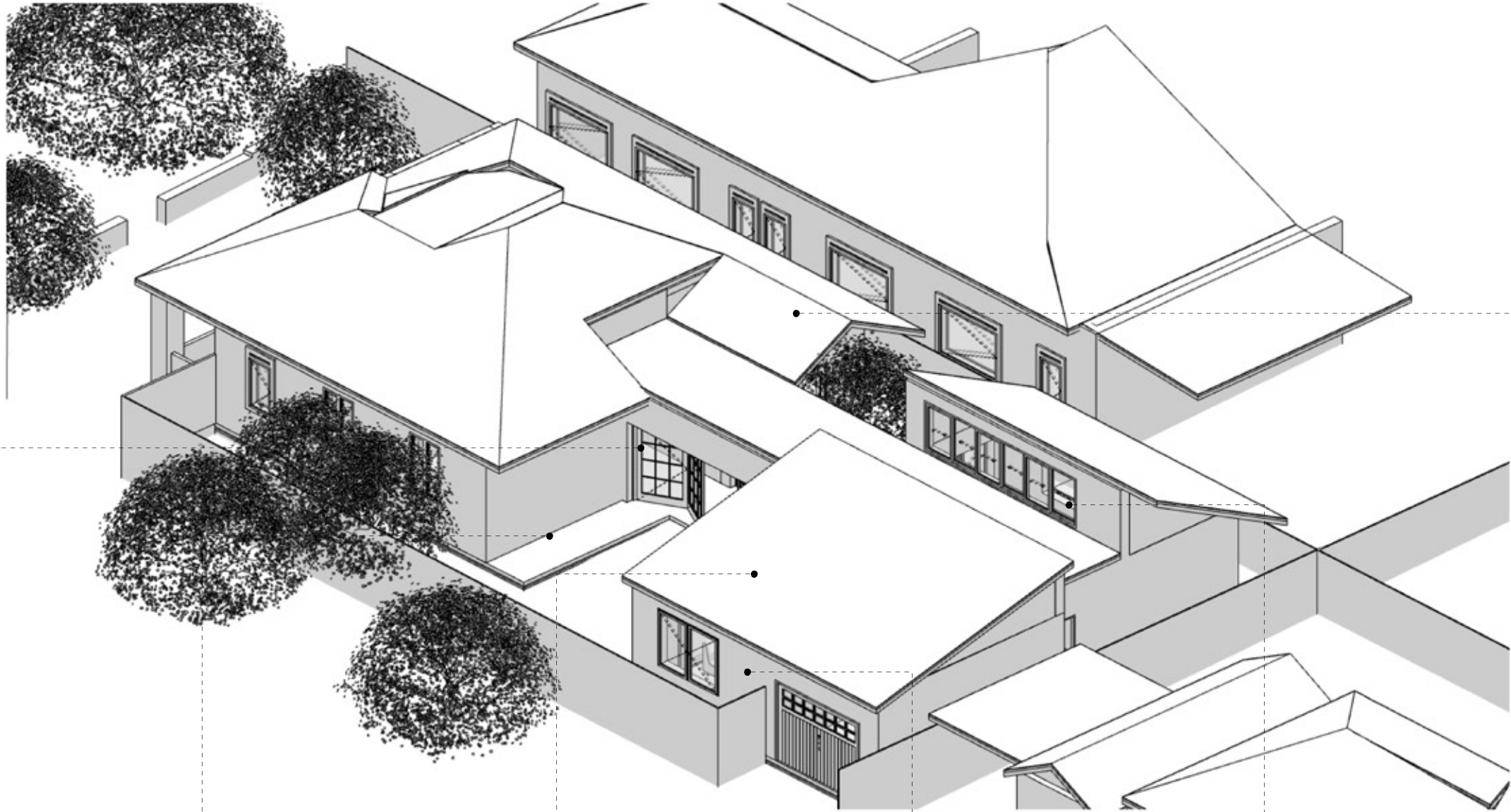
SCALE	DRAWING
1:100 @ A3	SECTION A+C
CLIENT	REV:
Freddie Mercury	A
FIRST ISSUE	
28.10.2021	
ADDRESS	DA-F02
1 TAWA ST, ASHFIELD	



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KEY	
	EXISTING STRUCTURE/HARD SURFACE TO BE MAINTAINED
	PROPOSED ROOF STRUCTURE
	PROPOSED ROOF METAL SHEET
	PROPOSED MASONRY STRUCTURE
	PROPOSED CONCRETE STRUCTURE





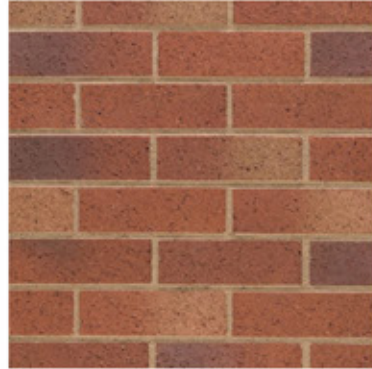
RESIDENTIAL BI-FOLD DOOR  
ALUMINIUM FRAME GLOSS  
FINISH



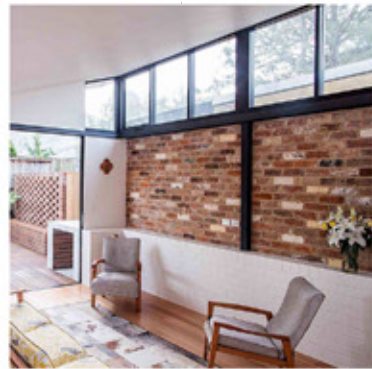
TD HARDWOOD DECKING  
CONCEALED FIXING



MS COLOURBOND ROOF  
BLACK MATT FINISH



MW CLAY BRICK  
RED FACE BRICK



CW CLERESTORY WINDOW  
ALUMINIUM FRAME GLOSS  
FINISH



RT ROOF TILE  
CLAY ROOF TILE



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KEY

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
NTS

CLIENT Freddie Mercury	DRAWING MATERIAL BOARD
FIRST ISSUE 28.10.2021	REV. A
ADDRESS 1 TAWA ST, ASHFIELD	DA-M01





FIGURE1  
VIEW OF COURTYARD FROM NORTH FENCE



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REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
NTS

CLIENT Freddie Mercury	DRAWING PHOTOMONATGES A
FIRST ISSUE 28.10.2021	REV: A
ADDRESS 1 TAWA ST, ASHFIELD	DA-P01





FIGURE2  
STREET VIEW FROM CONCR OF TAWA STREET



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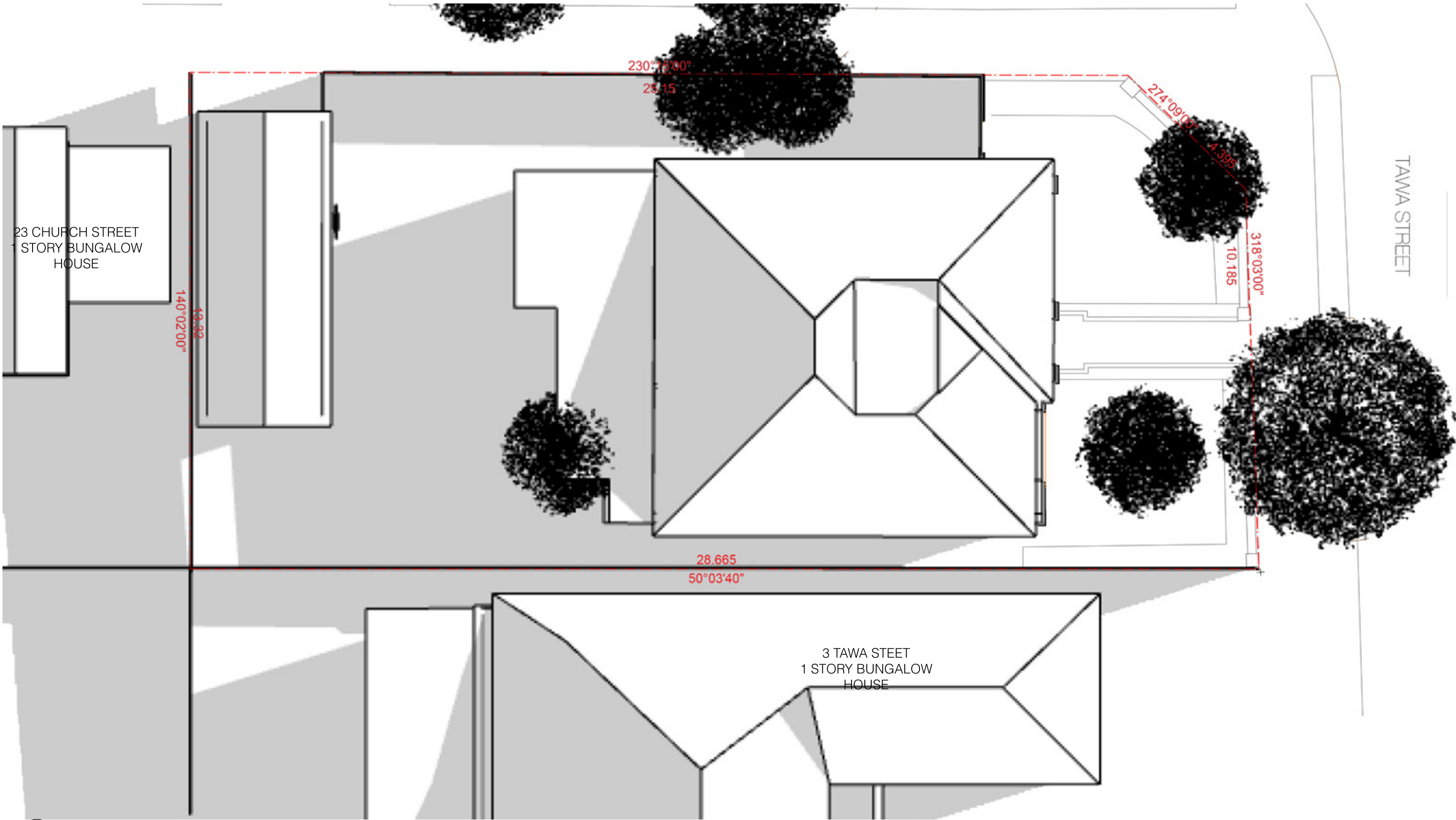
KEY

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
NTS

CLIENT Freddie Mercury	DRAWING PHOTOMONATGES B
FIRST ISSUE 28.10.2021	REV. A
ADDRESS 1 TAWA ST, ASHFIELD	DA-P02





01 9 AM WINTER SHADOW DIAGRAM-EXISTING  
1:100



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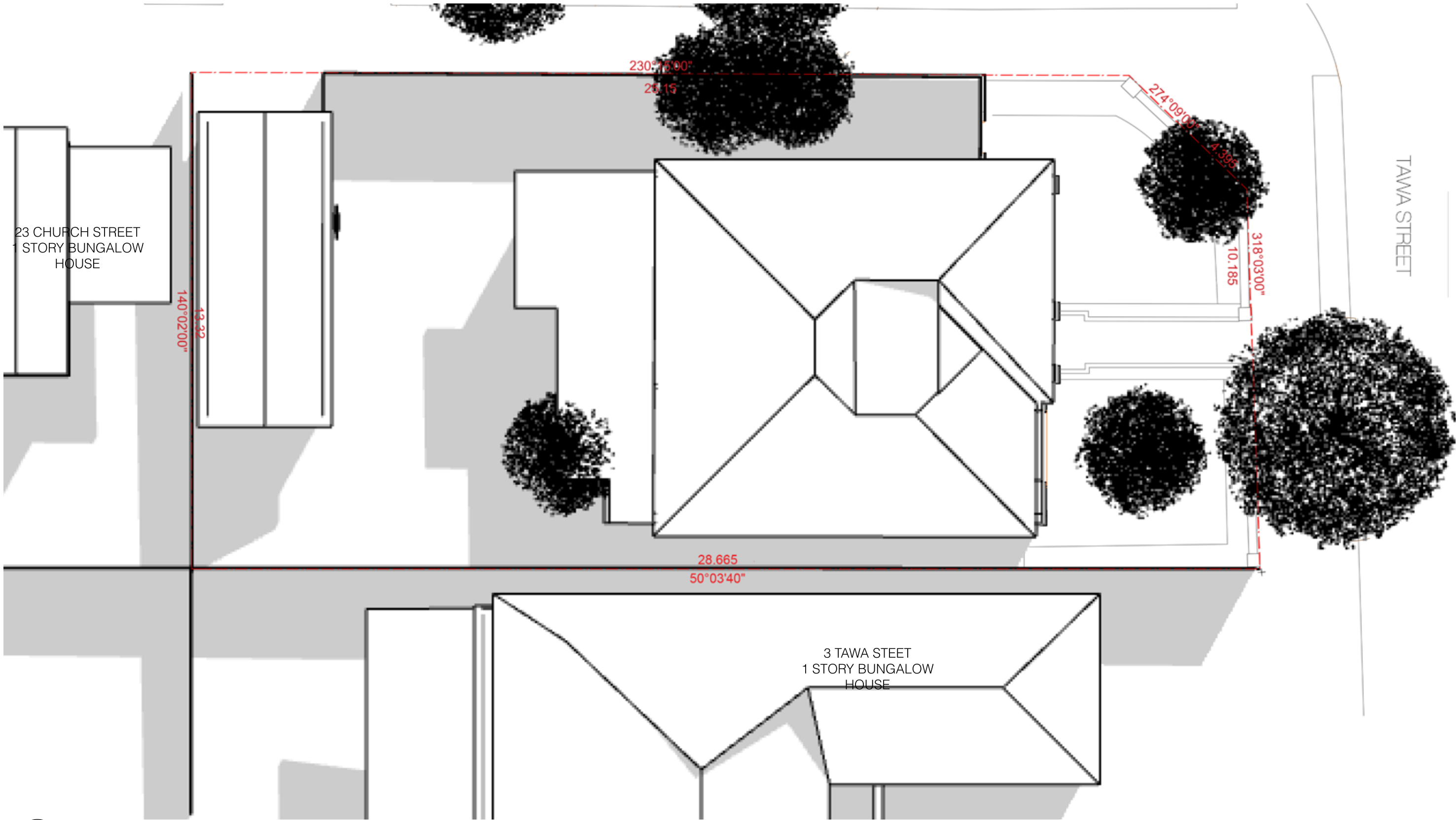
- KEY
- EXISTING SHADOW AREA
  - REDUCED SHADOW AREA
  - ADDITIONAL SHADOW AREA

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3

North Point

CLIENT Freddie Mercury	DRAWING SHADOW DIAGRAMS -9AM JUNE 21-EXISTING
FIRST ISSUE 28.10.2021	REV: A
ADDRESS 1 TAWA ST, ASHFIELD	DA-S01



01 12 PM WINTER SHADOW DIAGRAM-EXISTING  
1:100



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Darlington NSW 2008  
+610412345678

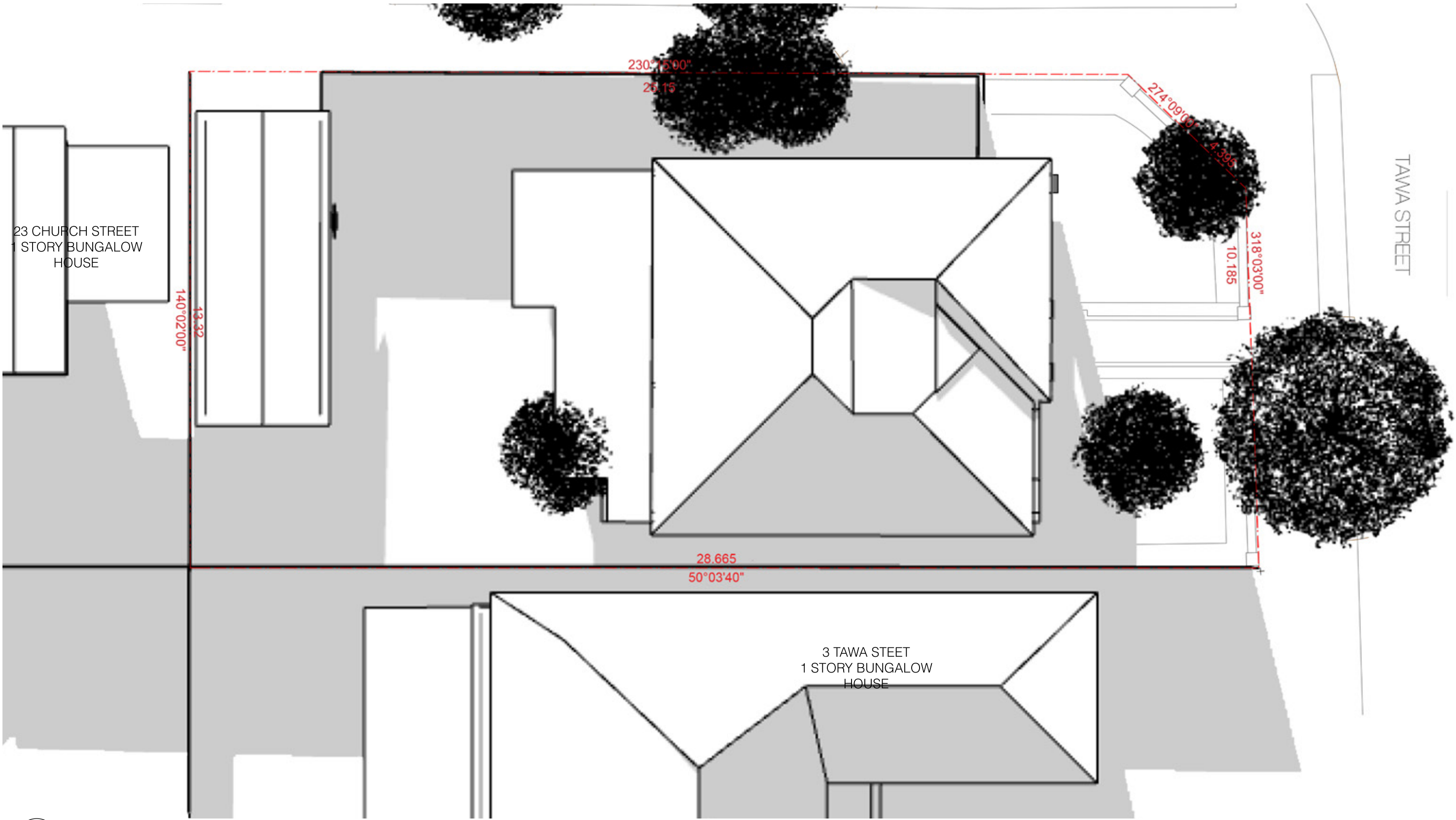
- KEY
- EXISTING SHADOW AREA
  - REDUCED SHADOW AREA
  - ADDITIONAL SHADOW AREA

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3

North Point

CLIENT Freddie Mercury	DRAWING SHADOW DIAGRAMS -12PM JUNE 21-EXISTING
FIRST ISSUE 28.10.2021	REV. A
ADDRESS 1 TAWA ST, ASHFIELD	DA-S02



01 3 PM WINTER SHADOW DIAGRAM-EXISTING  
1:100



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KEY

- EXISTING SHADOW AREA
- REDUCED SHADOW AREA
- ADDITIONAL SHADOW AREA

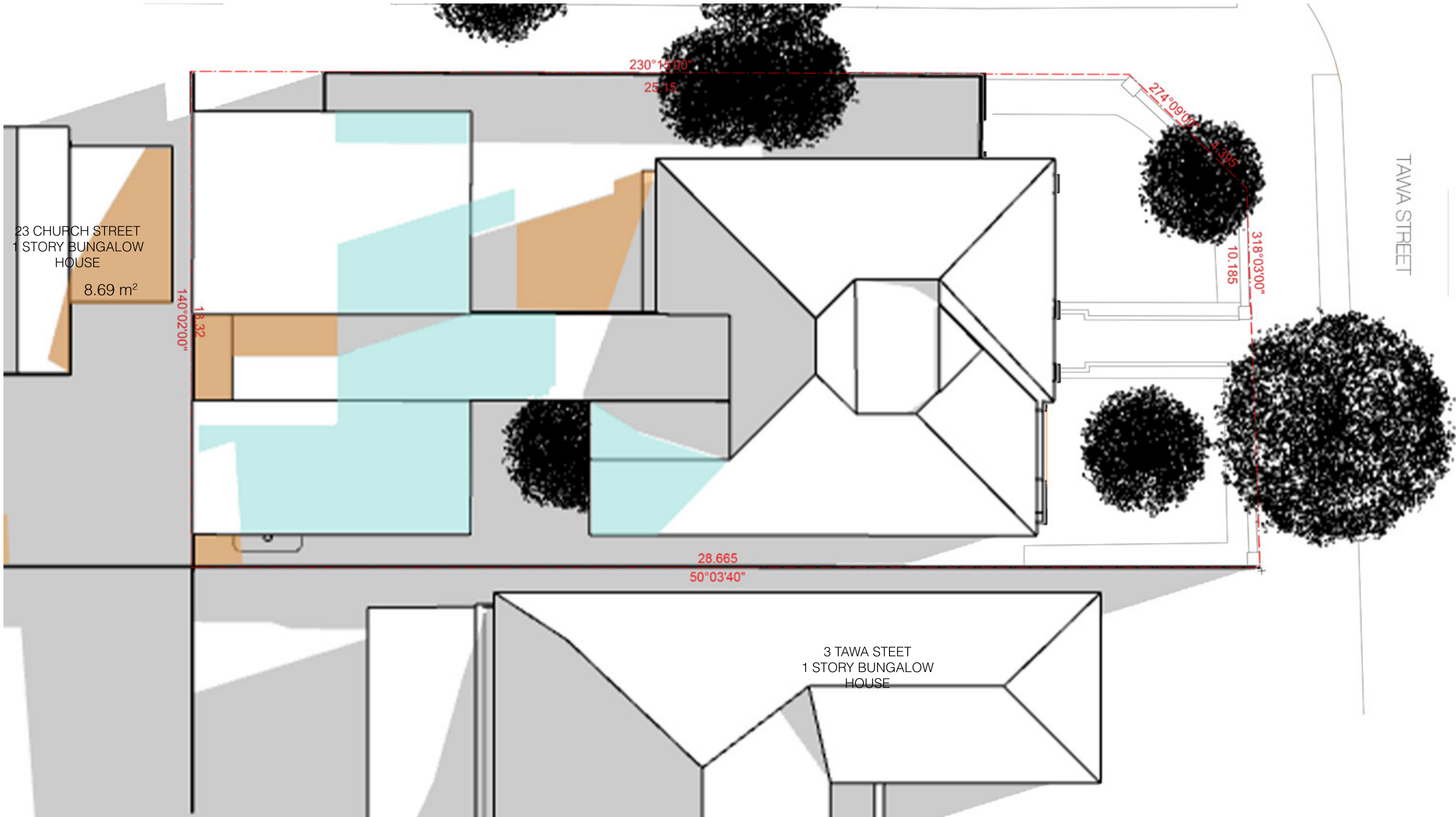
REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3



CLIENT Freddie Mercury	DRAWING SHADOW DIAGRAMS -3PM JUNE 21-EXISTING
FIRST ISSUE 28.10.2021	REV: A
ADDRESS 1 TAWA ST, ASHFIELD	DA-S03





01 9 AM WINTER SHADOW DIAGRAM-PROPOSED  
1:100

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3

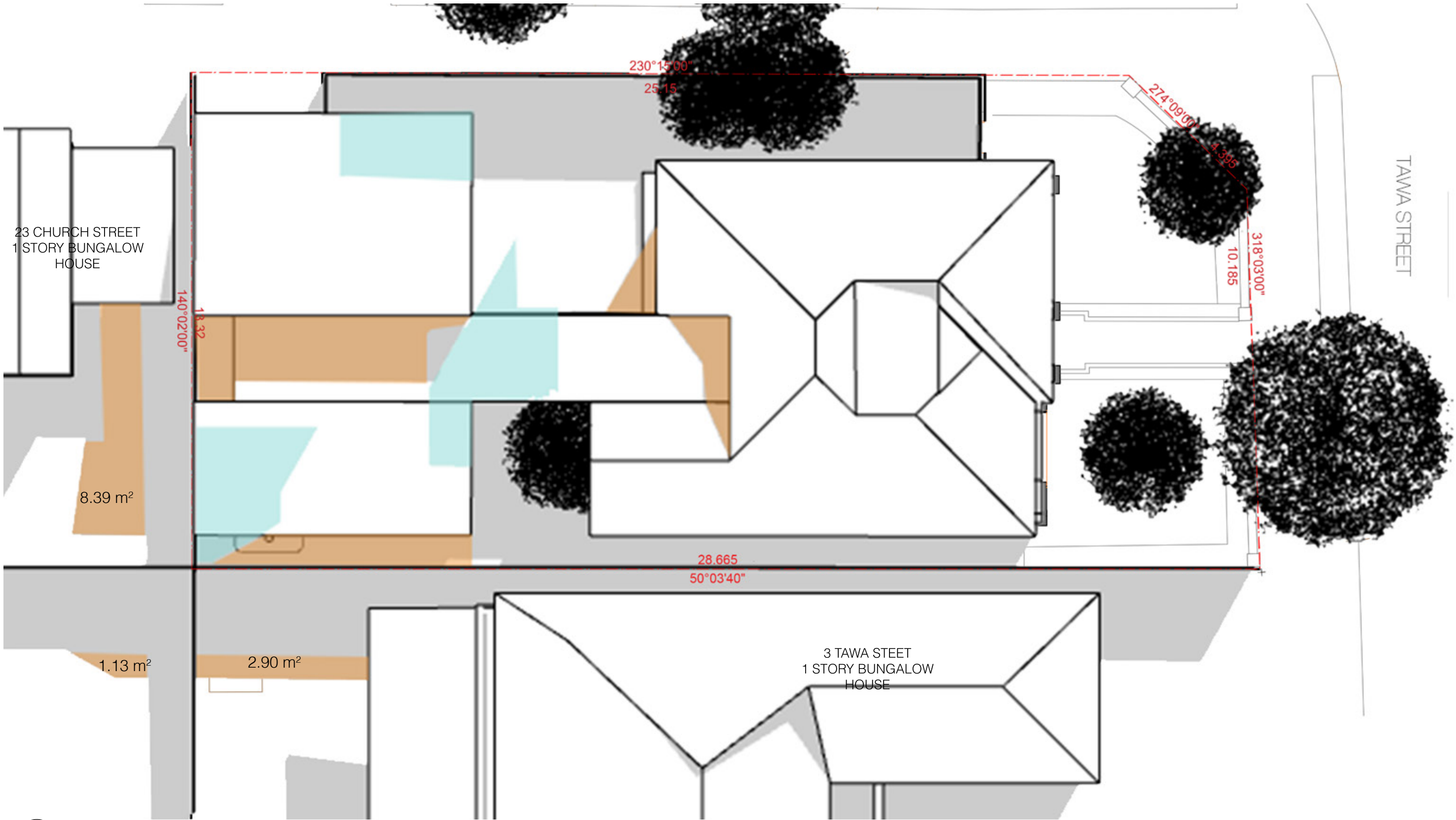


North Point

CLIENT Freddie Mercury	DRAWING SHADOW DIAGRAMS -9AM JUNE 21-PROPOSED
FIRST ISSUE 28.10.2021	REV. A
ADDRESS 1 TAWA ST, ASHFIELD	DA-S04






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01 12 PM WINTER SHADOW DIAGRAM-PROPOSED  
1:100




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Darlington NSW 2008  
+610412345678

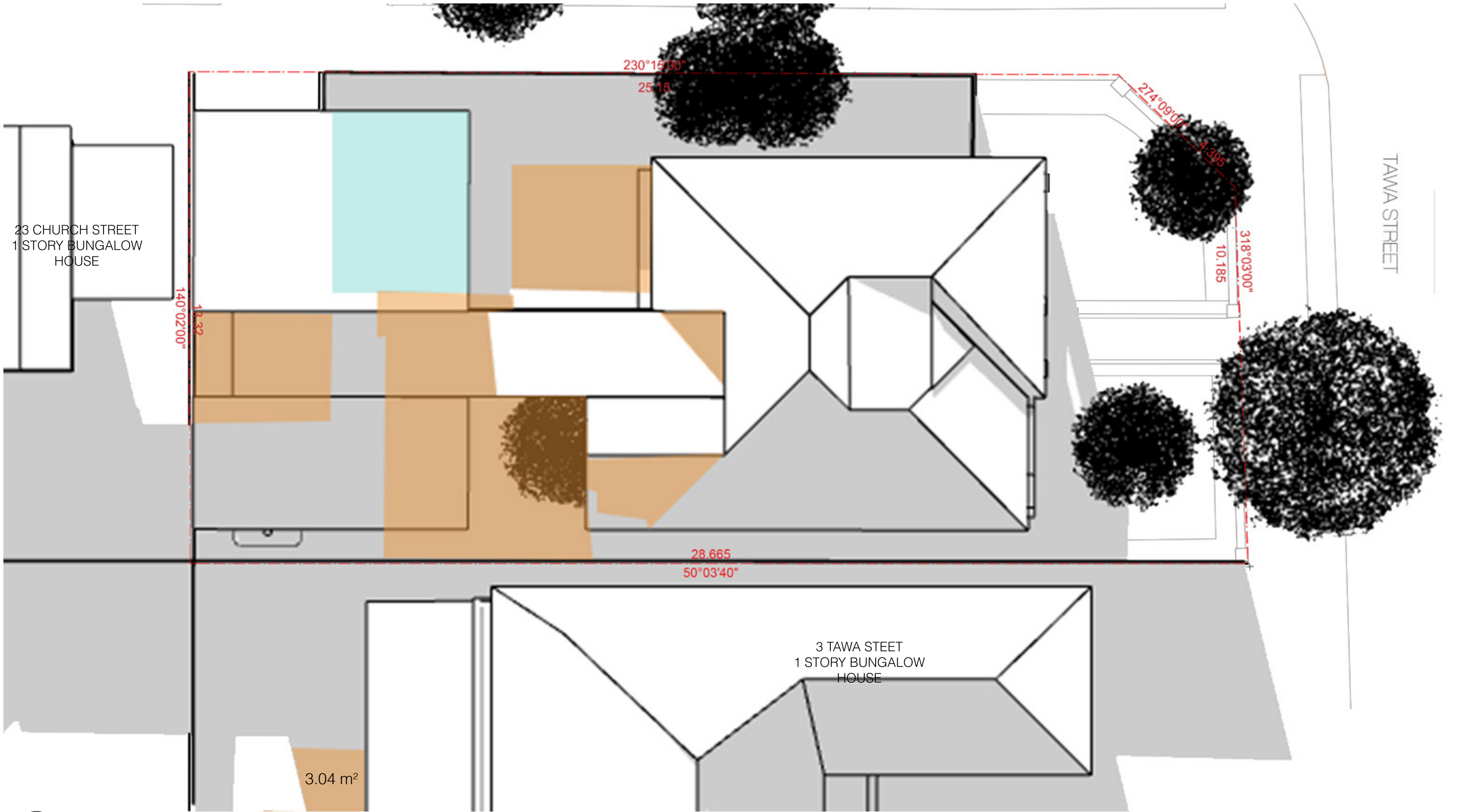
KEY	
	EXISTING SHADOW AREA
	REDUCED SHADOW AREA
	ADDITIONAL SHADOW AREA

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3

  
North Point

CLIENT Freddie Mercury	DRAWING SHADOW DIAGRAMS -12PM JUNE 21-PROPOSED
FIRST ISSUE 28.10.2021	REV: A
ADDRESS 1 TAWA ST, ASHFIELD	DA-S05



01  
-

3 PM WINTER SHADOW DIAGRAM-PROPOSED  
1:100



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KEY

- EXISTING SHADOW AREA
- REDUCED SHADOW AREA
- ADDITIONAL SHADOW AREA

REV	DATE	DESCRIPTION
A	28.10.2021	DEVELOPMENT APPLICATION

SCALE  
1:100 @ A3



CLIENT  
Freddie Mercury

FIRST ISSUE  
28.10.2021

ADDRESS  
1 TAWA ST, ASHFIELD

DRAWING  
SHADOW DIAGRAMS - 3PM  
JUNE 21-PROPOSED

REV.  
A

DA-S06